

DEVELOPMENT APPLICATION

DRAWING SCHEDULE

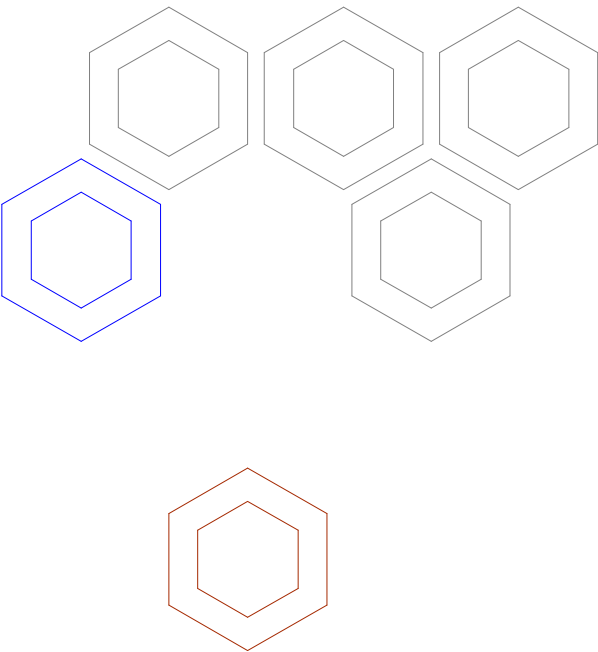
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ISSUE DETAILS

A 14.04.2025 ISSUED FOR DEVELOPMENT APPLICATION

ADDITIONAL INFORMATION

A01	OWNER'S CONSENT FORM
A02	SURVEY PLAN
A03	BASIX & NATHERS CERTIFICATION
A04	STORMWATER PLAN
A05	LANDSCAPE PLAN
A06	STATEMENT OF ENVIRONMENTAL EFFECTS
A07	WASTE MANAGEMENT PLAN
A08	QUANTITY SURVEYORS REPORT
A09	NEIGHBOUR NOTIFICATION PLAN



DETACHED DUAL OCCUPANCY

71 DUTTON STREET,  
BANKSTOWN NSW 2200

JOE SLEIMAN





GENERAL REQUIREMENTS/SPECIFICATIONS

BUILDING TO BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING/WHERE RELEVANT

**EARTHWORKS**  
**NATIONAL CONSTRUCTION CODE (NCC)**

- EARTHWORKS AND EXCAVATIONS ARE TO BE CARRIED OUT IN ACCORDANCE WITH BCA 2022 H1D3 AND HOUSING PROVISIONS PART 3.2

**STORM WATER**

- POWDER COATED ALUMINIUM GUTTERS & DOWNPIPES.
- REFER TO STORMWATER PLAN FOR ALL SITE DRAINAGE DETAILS AND CALCULATIONS.

**NATIONAL CONSTRUCTION CODE (NCC)**

- DRAINAGE IS TO BE IN ACCORDANCE WITH BCA 2022 H2D2
- ROOF, WALL CLADDING, GUTTERS & DOWNPIPES ARE TO COMPLY WITH BCA 2022 H1D7 AND H2D6

**TERMITE PROTECTION**  
**NATIONAL CONSTRUCTION CODE (NCC)**

- PROTECTION MUST BE IN ACCORDANCE WITH BCA 2022 H1D3 AND ABCB HOUSING PROVISIONS PART 3.4

**FOOTINGS AND SLABS**

- PROPOSED FOOTINGS TO THE SPECIFICATIONS OF A QUALIFIED PRACTISING ENGINEER

**NATIONAL CONSTRUCTION CODE (NCC)**

- FOOTINGS AND SLABS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH BCA 2022 H1D4 AND H2D3

**AUSTRALIAN STANDARD (AS)**

- PILED FOOTINGS ARE TO COMPLY WITH AS 2159-2009

**FLOORING**

- PROPOSED FLOOR CONSTRUCTION TO THE SPECIFICATIONS OF A QUALIFIED PRACTISING ENGINEER.
- ALL PORCHES, VERANDAHS & THE LIKE TO HAVE A 85mm STEPDOWN FROM INTERNAL AREAS UNLESS NOTED OTHERWISE
- FOR ALL REDUCED LEVELS REFER TO FLOOR PLANS (ENGINEERS DETAILS TO SUPERSEED-CONFIRM WITH DESIGNER)
- SUB FLOOR VENTILATION IS TO COMPLY WITH BCA 2022 H2D5

**WALLS**  
**NATIONAL CONSTRUCTION CODE (NCC)**

- STEEL AND TIMBER FRAMING AND STRUCTURAL STEEL SECTIONS ARE TO COMPLY WITH BCA 2022 H1D6
- MASONRY, MASONRY COMPONENTS AND ACCESSORIES, AND WEATHERPROOFING OF MASONRY ARE TO COMPLY WITH BCA 2022 H1D5 AND H2D4
- SOUND INSULATION IS TO BE IN ACCORDANCE WITH BCA 2022 H4D8
- REINFORCED AUTOCLAVED AERATED CONCRETE IS TO COMPLY WITH AS 5146.1-2015
- CONCRETE - POST-INSTALLED AND CAST-IN FASTENINGS IS TO COMPLY WITH SA TA 101
- ROOF AND WALL CLADDING ARE TO COMPLY WITH BCA 2022 H2D6

**STRUCTURE**  
**NATIONAL CONSTRUCTION CODE (NCC)**

- STAIR CONSTRUCTION IS TO COMPLY WITH PART 3.9.1
- STRUCTURAL DESIGN TO BE IN ACCORDANCE WITH ACCEPTABLE CONSTRUCTION MANUALS AS LISTED IN PART 3.11
- ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING PLATE IS TO COMPLY WITH BCA 2022 H1D11

**EXTERNAL WATERPROOFING**  
**NATIONAL CONSTRUCTION CODE (NCC)**

- EXTERNAL WATERPROOFING IS TO COMPLY WITH BCA 2022 H2D8

**GLAZING**

- POWDER COATED ALUMINIUM FRAMED GLASS WINDOWS & DOORS UNLESS NOTED OTHERWISE.

**NATIONAL CONSTRUCTION CODE (NCC)**

- ALL GLAZING IS TO BE IN ACCORDANCE WITH BCA 2022 H1D8 AND H2D7

**ROOFING**  
**NATIONAL CONSTRUCTION CODE (NCC)**

- ROOF CLADDING SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.5.1

**AUSTRALIAN STANDARD (AS)**

- INSTALLATION OF ROOF TILES - AS 2050
- DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING - AS 1562.1

**FIRE**  
**NATIONAL CONSTRUCTION CODE (NCC)**

- THE FIRE HAZARD PROPERTIES OF MATERIALS ARE TO COMPLY WITH BCA 2022 H3D2
- FIRE SEPARATION OF EXTERNAL WALLS IS TO COMPLY WITH BCA 2022 H3D3
- FIRE PROTECTION OF SEPARATING WALLS AND FLOORS IS TO COMPLY WITH BCA 2022 H3D4
- FIRE SEPARATION OF GARAGE-TOP-DWELLINGS IS TO COMPLY WITH BCA 2022 H3D5
- SMOKE ALARMS AND EVACUATION LIGHTING ARE TO COMPLY WITH BCA 2022 H3D6

**HEALTH & AMENITY**

- ALL BATHROOM, ENSUITES AND LAUNDRIES TO HAVE FLOOR WASTES AND BE SETDOWN AND WATERPROOFED.

**NATIONAL CONSTRUCTION CODE (NCC)**

- WET AREAS ARE TO COMPLY WITH BCA 2022 H4D2
- MATERIALS AND INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS ARE TO COMPLY WITH BCA 2022 H4D3
- ROOM HEIGHTS ARE TO COMPLY WITH BCA 2022 H4D4
- PROVISION OF LIGHT IS TO COMPLY WITH BCA 2022 H4D6
- PROVISION OF VENTILATION IS TO COMPLY WITH BCA 2022 H4D7
- SOUND INSULATION IS TO COMPLY WITH BCA 2022 H4D8
- CONDENSATION MANAGEMENT IS TO COMPLY WITH BCA 2022 H4D9

**SAFE MOVEMENT & ACCESS**  
**NATIONAL CONSTRUCTION CODE (NCC)**

- STAIRWAY AND RAMP CONSTRUCTION ARE TO COMPLY WITH BCA 2022 H5D2
- BARRIERS AND HANDRAILS ARE TO COMPLY WITH BCA 2022 H5D3
- THE WINDOW IS TO BE FITTED WITH EITHER A DEVICE TO RESTRICT THE WINDOW OPENING, OR A SUITABLE SCREEN, SO A 125mm SPHERE CANNOT PASS THROUGH.
- THE DEVICE OR SCREEN CAN HAVE A CHILD RESISTANT RELEASE MECHANISM (E.G. A KEY LOCK) WHICH CAN ENABLE THE DEVICE OR SCREEN TO BE REMOVED, UNLOCKED OR OVERRIDDEN. (SO FOR EXAMPLE, THE WINDOW CAN BE CLEANED)
- A BARRIER IS NOT REQUIRED FOR WINDOWS 1.7m OR MORE ABOVE THE FLOOR LEVEL.

**EXTERNAL FINISHES**

- REFER TO SCHEDULE OF EXTERNAL MATERIALS, COLOURS AND FINISHES FOR MORE DETAILS.

**ANCILLARY PROVISIONS AND ADDITIONAL CONSTRUCTION REQUIREMENTS**  
**NATIONAL CONSTRUCTION CODE (NCC)**

- SWIMMING POOLS ARE TO COMPLY WITH BCA 2022 NSW H7D2
- CONSTRUCTION IN BUSHFIRE PRONE AREAS IS TO COMPLY WITH BCA 2022 NSW H7D4
- HEATING APPLIANCES, FIREPLACES, CHIMNEYS AND FLUES ARE TO COMPLY WITH BCA 2022 H7D5

**LANDSCAPE**

- REFER TO LANDSCAPE PLAN FOR ALL PLANTING AND OUTDOOR SURFACE TREATMENTS

**BUSHFIRE**

- THE RECOMMENDATIONS PROVIDED WITHIN THE BUSHFIRE ASSESSMENT REPORT ARE TO BE ADHERED TO. IN THE EVENT THAT THERE ARE INCONSISTENCIES, THE BUSHFIRE REPORT RECOMMENDATIONS ARE TO TAKE PRECEDENCE

**NATIONAL CONSTRUCTION CODE (NCC)**

- BUSHFIRE AREAS ARE TO BE IN ACCORDANCE WITH BCA 2022 H7D4

STRUCTURAL SOFTWARE USED IN COMPUTER AIDED DESIGN OF A BUILDING OR STRUCTURE THAT USES DESIGN CRITERIA BASED ON THE DEEMED-TO-SATISFY PROVISIONS OF NCC VOLUME TWO AND THE ABCB HOUSING PROVISIONS, INCLUDING ITS REFERENCED DOCUMENTS, FOR THE DESIGN OF STEEL OR TIMBER TRUSSED ROOF AND FLOOR SYSTEMS AND FRAMED BUILDING SYSTEMS, MUST COMPLY WITH THE ABCB PROTOCOL FOR STRUCTURAL SOFTWARE WHERE RELEVANT, AS REFERRED TO IN ABCB HOUSING PROVISIONS PART 2.2.5

THE DEVELOPMENT HAS BEEN DESIGNED TO BEST MEET THE GUIDELINES OF COUNCIL & THE NATIONAL CONSTRUCTION CODE  
(ALL WORK ON SITE SHALL BE CARRIED OUT IN A SIMILAR MANNER TO ADHERE TO THE REQUIREMENTS OF COUNCIL AND THE NCC)

MINOR CHANGES TO BUILDING FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT

NOT FOR CONSTRUCTION

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ISSUE	DATE	DESCRIPTION



DETACHED DUAL OCCUPANCY

71 DUTTON STREET  
BANKSTOWN NSW 2200

DESIGN  
DRAFTED

NIKOLA CVETKOVSKI  
KATERINA NIKOVSKA

JOE SLEIMAN

DRAWING

SPECIFICATIONS AND COMMENTS  
CLASS 1 AND 10

SCALE  
ISSUE

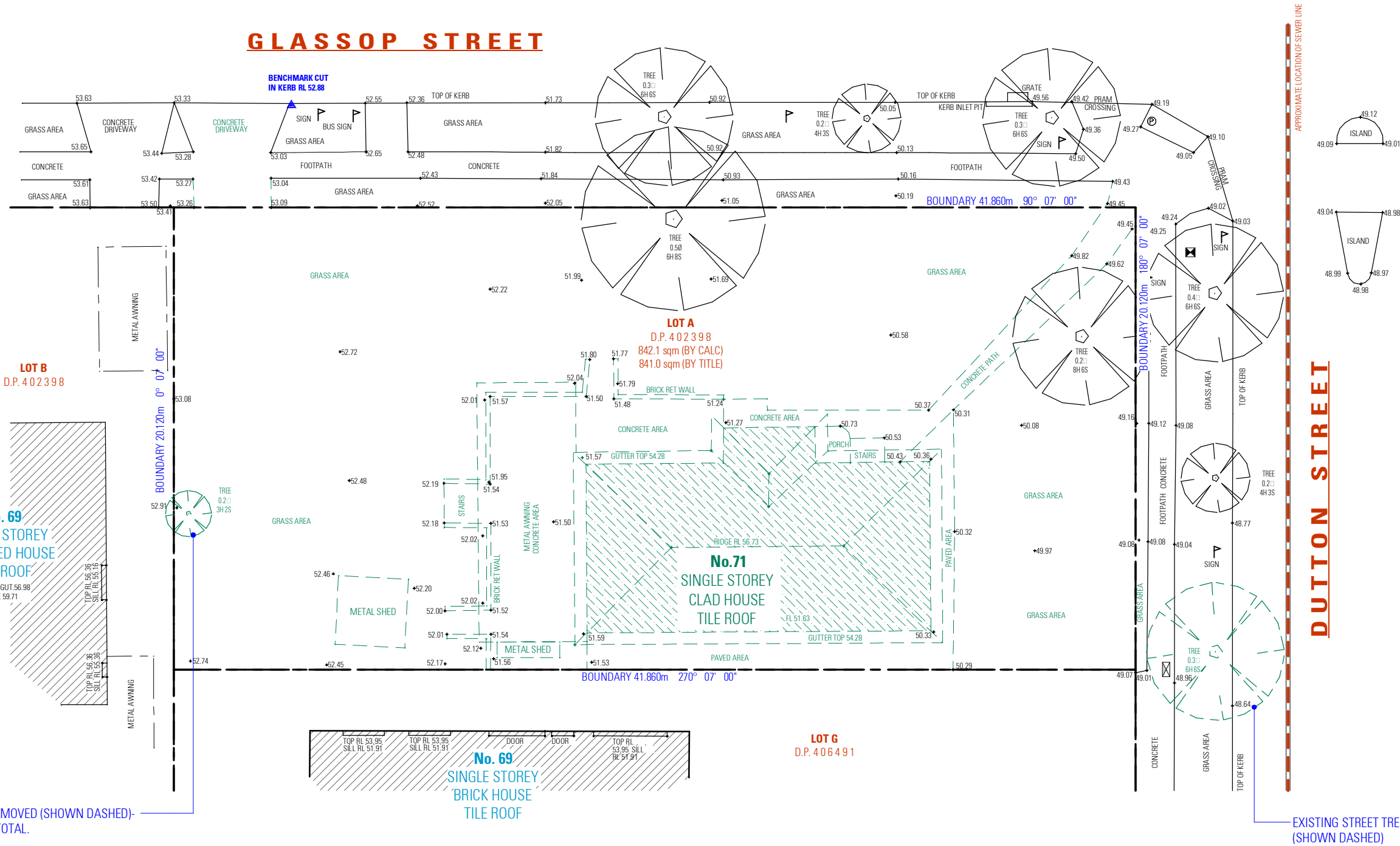
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DWG No. 24324 - 001



KEY	SITE LEGEND	
	ITEM	SYMBOL
	STRUCTURE TO BE DEMOLISHED	
	ITEMS TO BE REMOVED	
	TREES TO BE REMOVED	

- DEMOLITION NOTES**
- EXISTING VEHICULAR CROSSING TO BE REMOVED, A NEW VEHICULAR CROSSING TO BE CONSTRUCTED TO THE SPECIFICATIONS OF COUNCIL
  - ALL DEMOLITION AND WASTE MATERIALS TO BE REMOVED FROM SITE IN ACCORDANCE WITH THE ACCOMPANYING WASTE MANAGEMENT PLAN, AND AUSTRALIAN STANDARD 2601.2001
  - ALL NECESSARY PERMITS ARE TO BE OBTAINED FROM COUNCIL BY THE NOMINATED CONTRACTOR PRIOR TO ANY WORKS
  - ANY HAZARDOUS MATERIAL FOUND ON SITE IS TO BE REMOVED IN ACCORDANCE WITH RELEVANT LEGISLATION, BUILDING CODES, AUSTRALIAN STANDARDS AND WORK COVER GUIDELINES.



EXISTING TREES TO BE REMOVED (SHOWN DASHED)-  
ONE (1) No. OF TREES IN TOTAL.

EXISTING STREET TREE TO BE REMOVED  
(SHOWN DASHED)

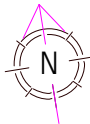
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**DRAWING**

DEMOLITION PLAN

**SCALE** 1 : 200 / A3  
**ISSUE** A

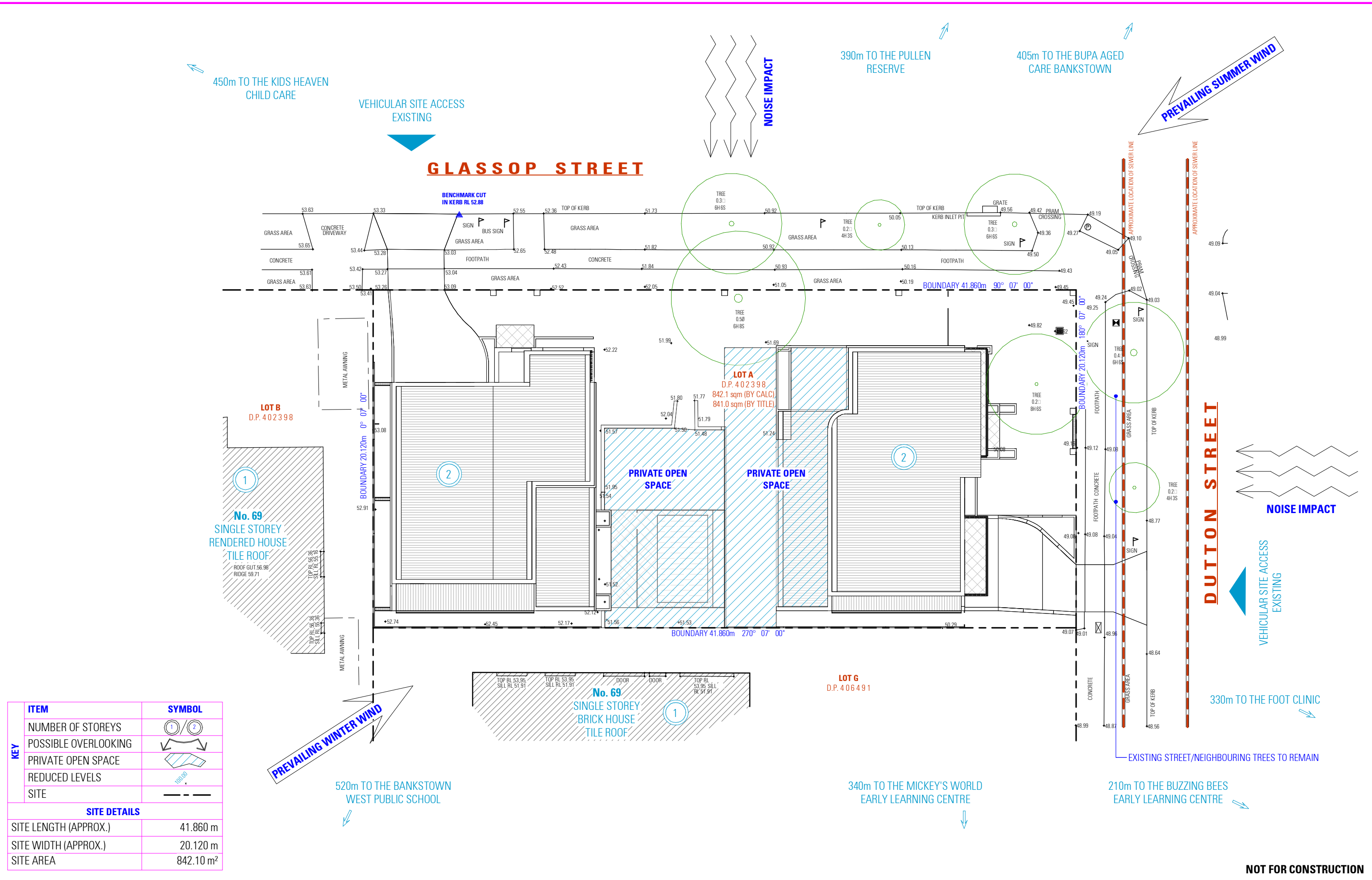
**DWG No.** 24324 - 010





**DWG No. 24324-011**





KEY	ITEM	SYMBOL
	NUMBER OF STOREYS	①/②
	POSSIBLE OVERLOOKING	↔
	PRIVATE OPEN SPACE	▨
	REDUCED LEVELS	100.00
SITE		
SITE DETAILS		
SITE LENGTH (APPROX.)		41.860 m
SITE WIDTH (APPROX.)		20.120 m
SITE AREA		842.10 m <sup>2</sup>

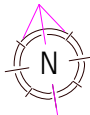
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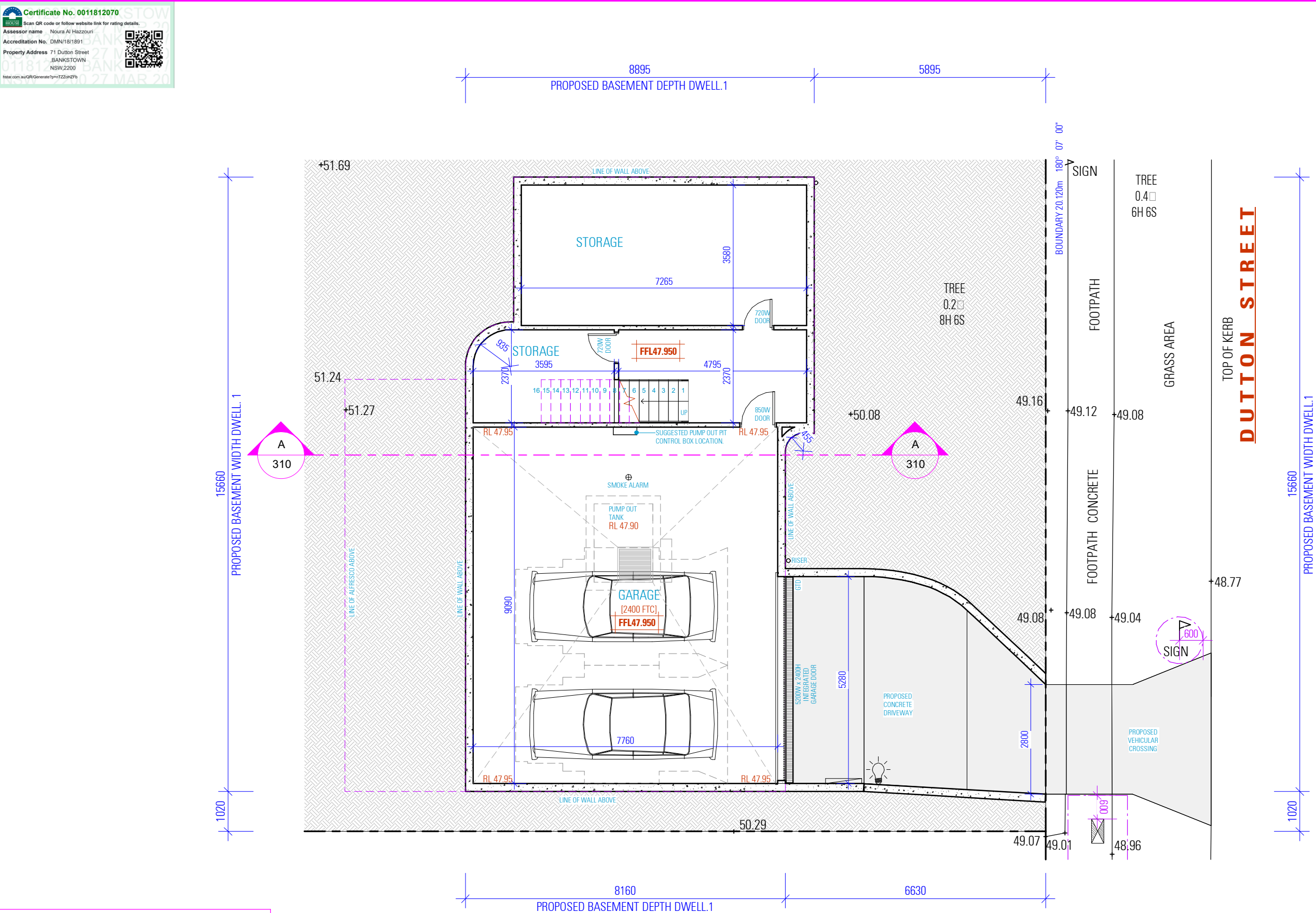
**SITE ANALYSIS PLAN**

**SCALE** 1 : 200 / A3  
**ISSUE** A

**DWG No.** 24324 - 020

**NOT FOR CONSTRUCTION**





**NOTES:**

- HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 3.7.5
- EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY (OR VIA A SHAFT OR DUCT) TO OUTDOOR AIR OR A VENTILATED ROOF SPACE IN ACCORDANCE WITH PART 3.8.7

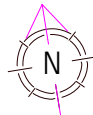
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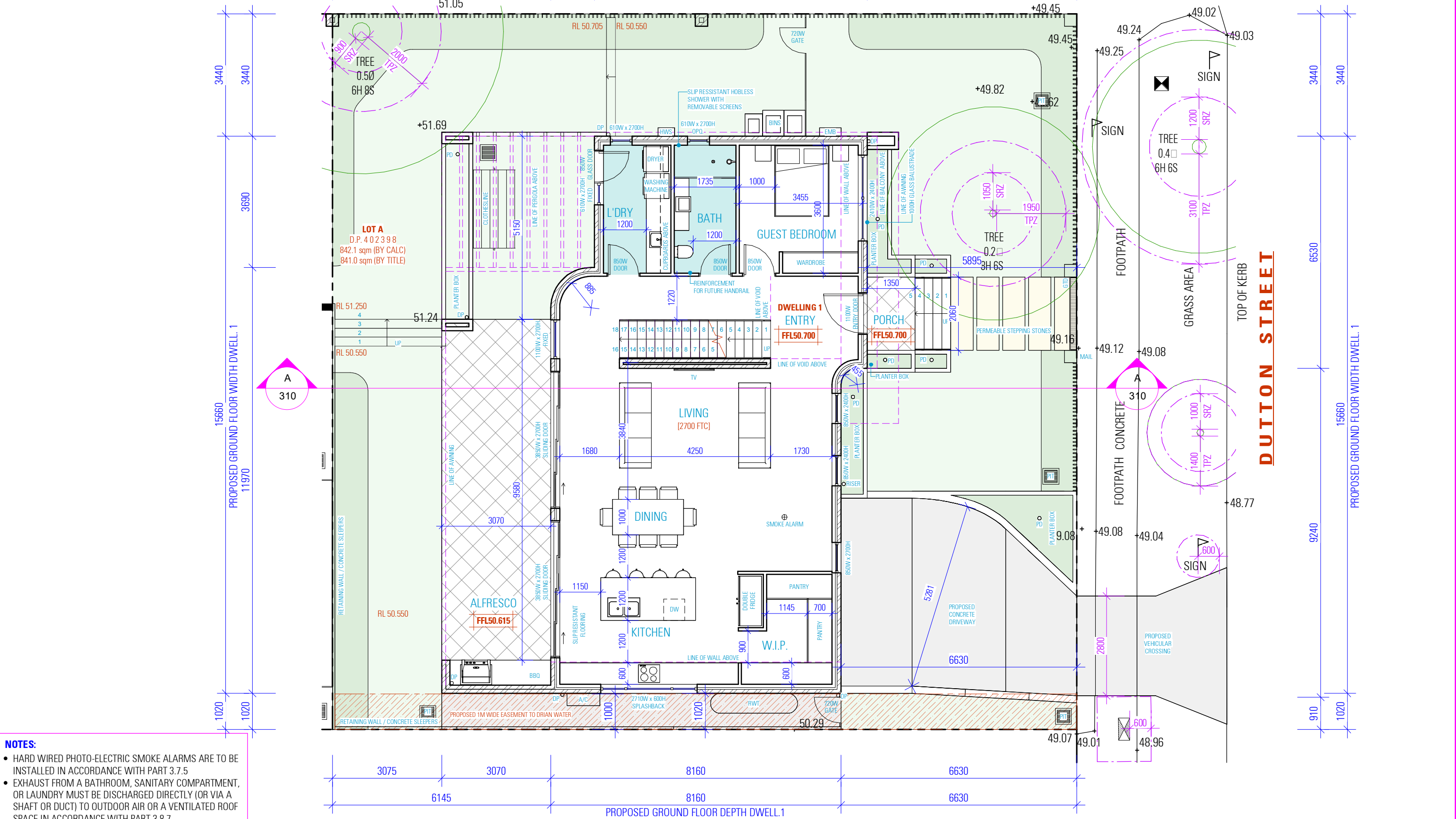
**PROPOSED BASEMENT FLOOR PLAN**

**SCALE** 1:100 / A3  
**ISSUE** A

**DWG No.** 24324 - 100

**NOT FOR CONSTRUCTION**





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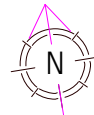
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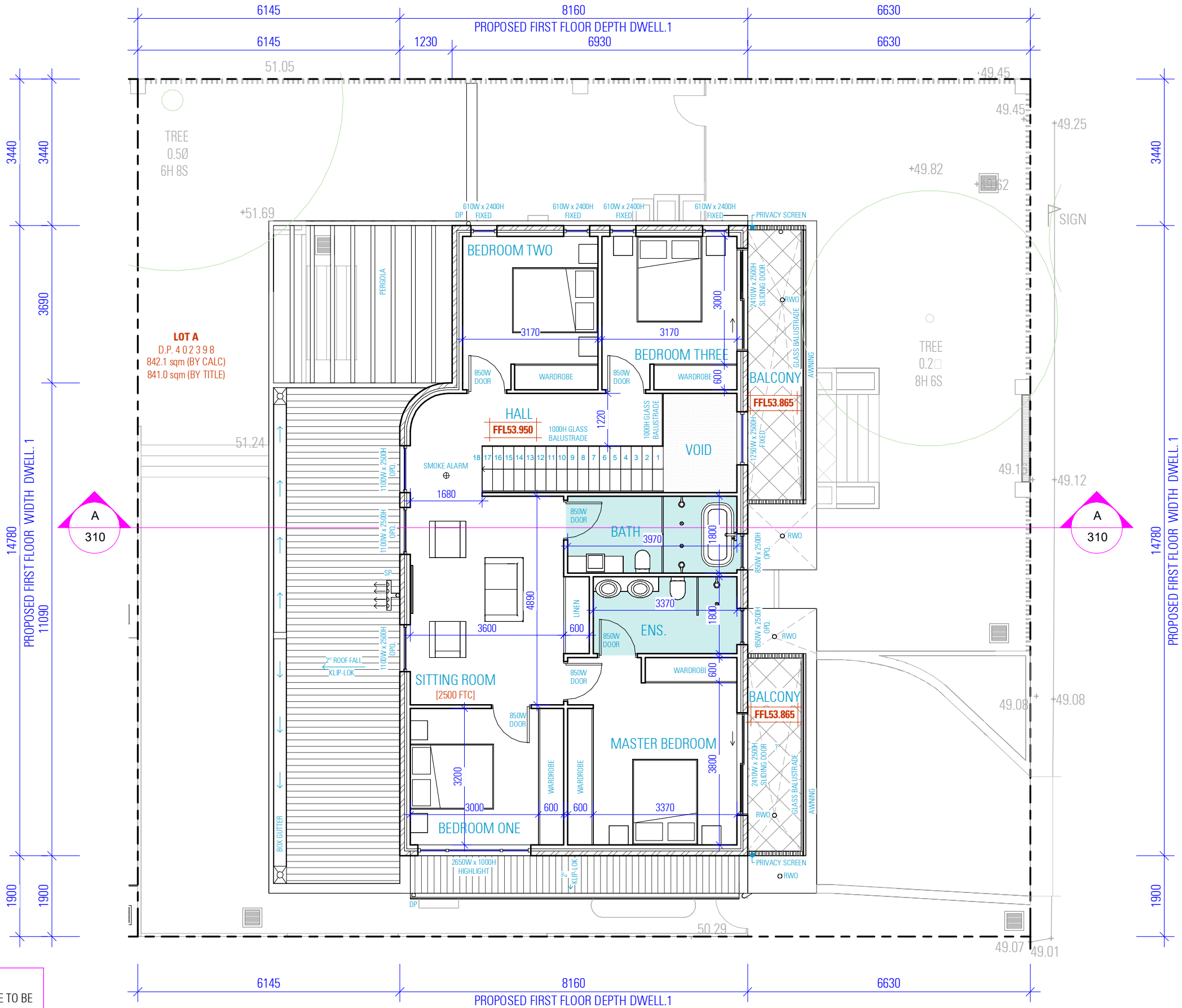
**PROPOSED GROUND FLOOR PLAN  
DWELLING 1**

**SCALE** 1:100/A3  
**ISSUE** A

**DWG No. 24324 - 101**

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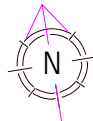
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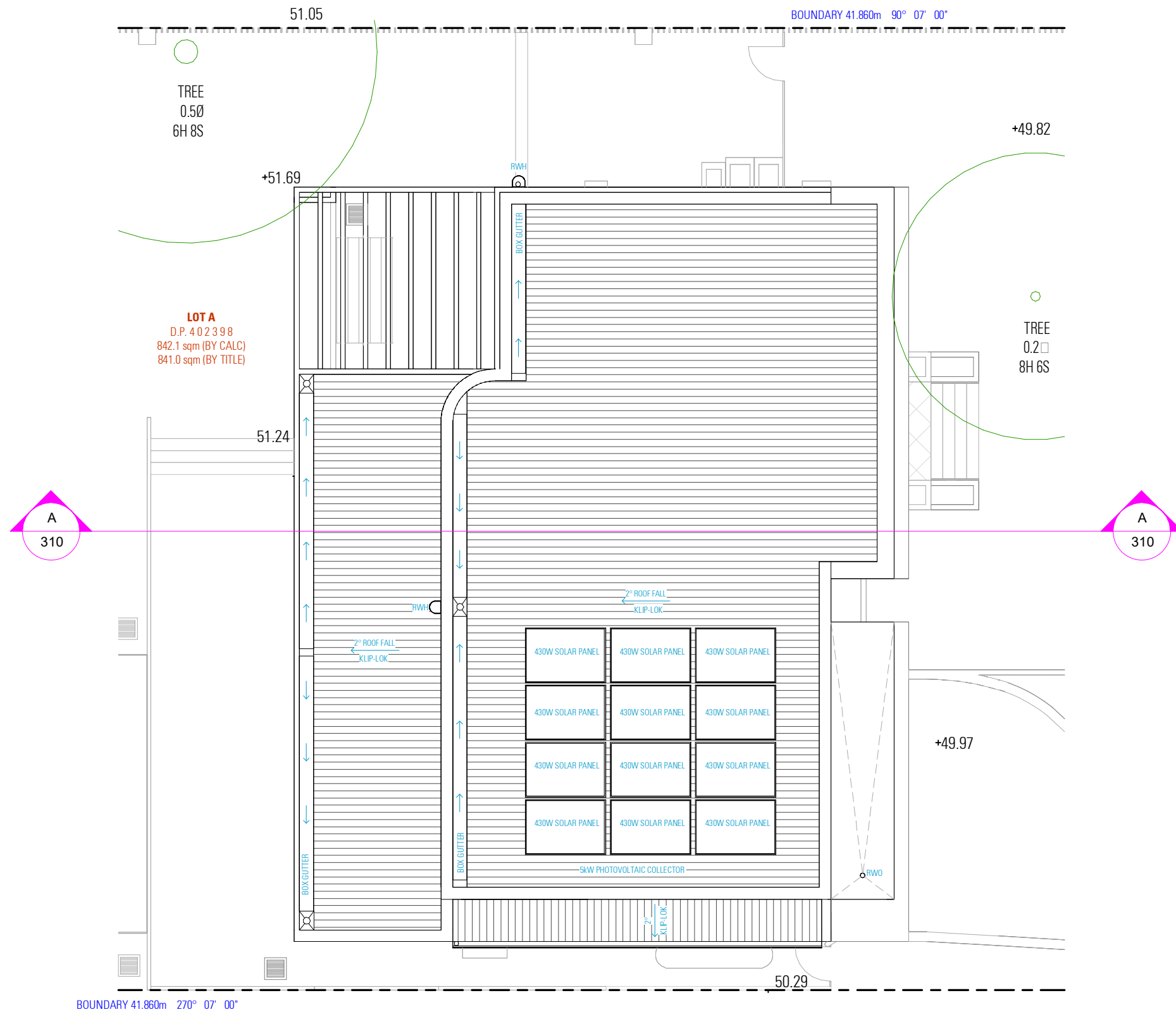
**PROPOSED FIRST FLOOR PLAN  
DWELLING 1**

**SCALE** 1:100/A3  
**ISSUE** A

**DWG No. 24324 - 102**

**NOT FOR CONSTRUCTION**





**NOT FOR CONSTRUCTION**

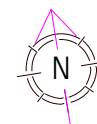
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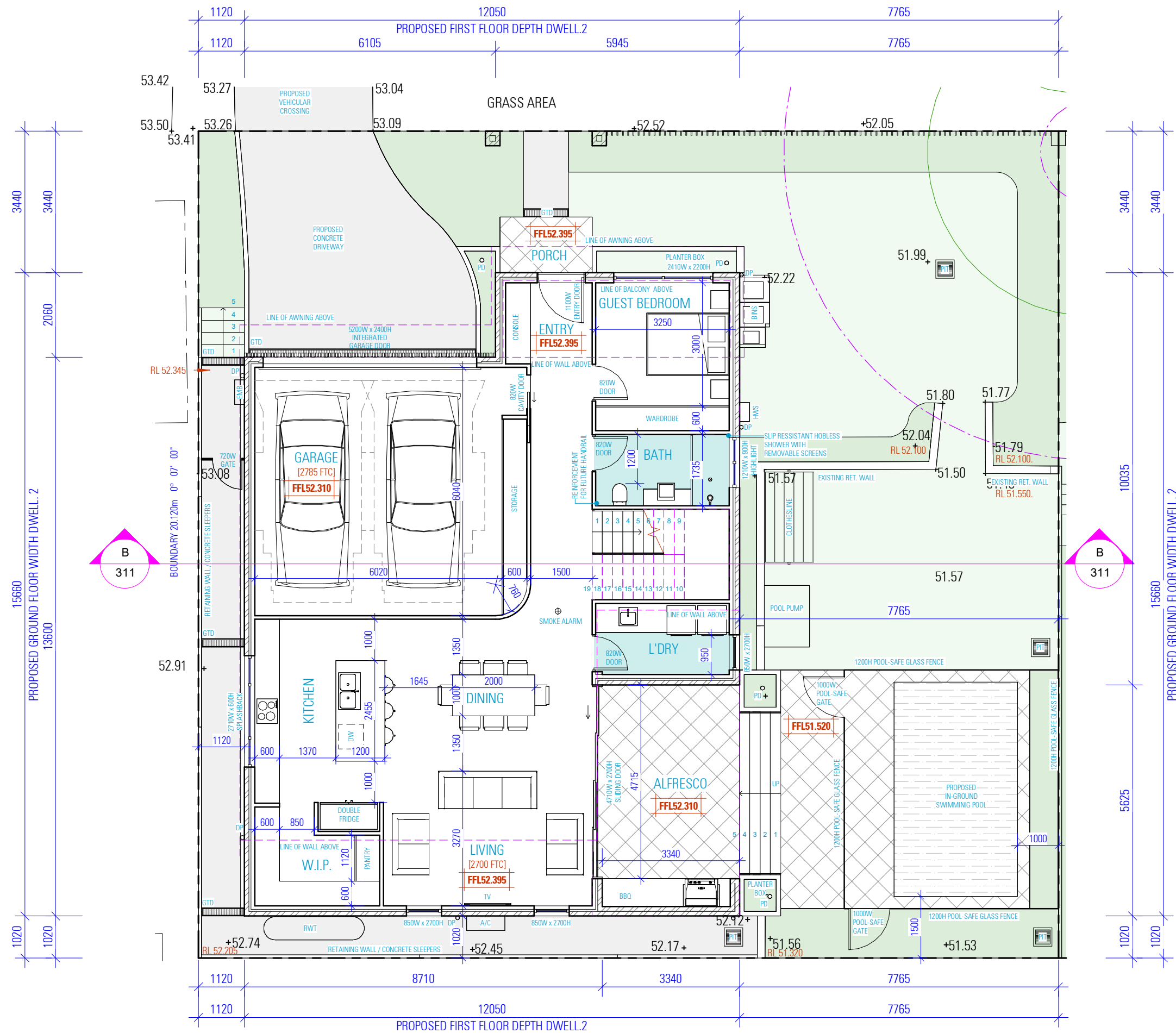
## DRAWING

### PROPOSED ROOF PLAN DWELLING 1

**SCALE** 1 : 100 / A3  
**ISSUE** A

DWG No. 24324 - 103





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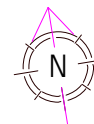
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JOE SLEIMAN

## DRAWING

## PROPOSED GROUND FLOOR PLAN DWELLING 2

**SCALE** 1 : 100 / A3  
**ISSUE** A

DWG No. 24324 - 104





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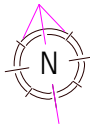
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A	14.04.2025	ISSUED FOR DEVELOPMENT APPLICATION
ISSUE	DATE	DESCRIPTION



**DETACHED DUAL OCCUPANCY**

71 DUTTON STREET  
BANKSTOWN NSW 2200

**DESIGN** NIKOLA CVETKOVSKI  
**DRAFTED** KATERINA NIKOVSKA

JOE SLEIMAN

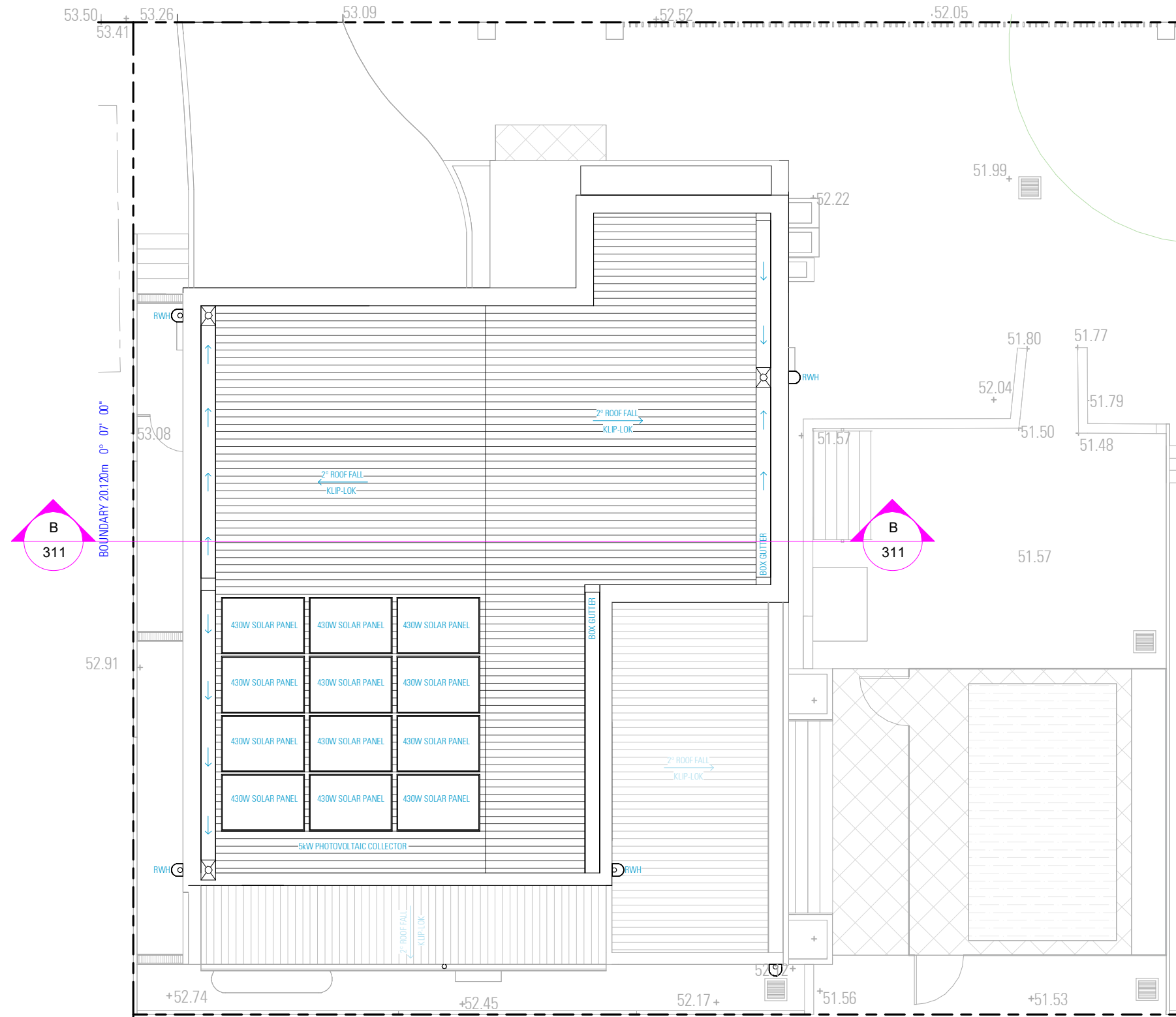
**DRAWING**

PROPOSED FIRST FLOOR PLAN  
DWELLING 2

**SCALE** 1:100 / A3  
**ISSUE** A

**DWG No.** 24324 - 105





**NOT FOR CONSTRUCTION**

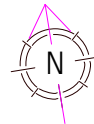
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## DETACHED DUAL OCCUPANCY

71 DUTTON STREET  
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JOE SLEIMAN

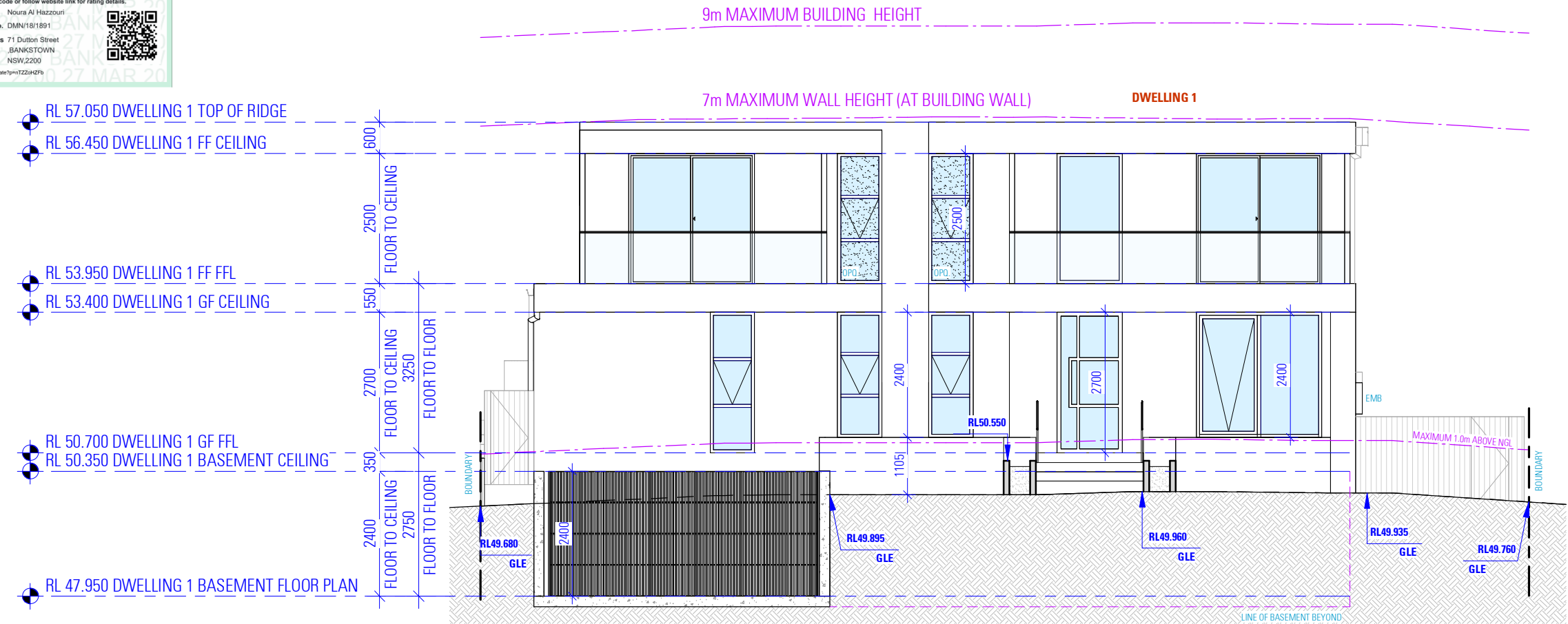
## DRAWING

## PROPOSED ROOF PLAN DWELLING 2

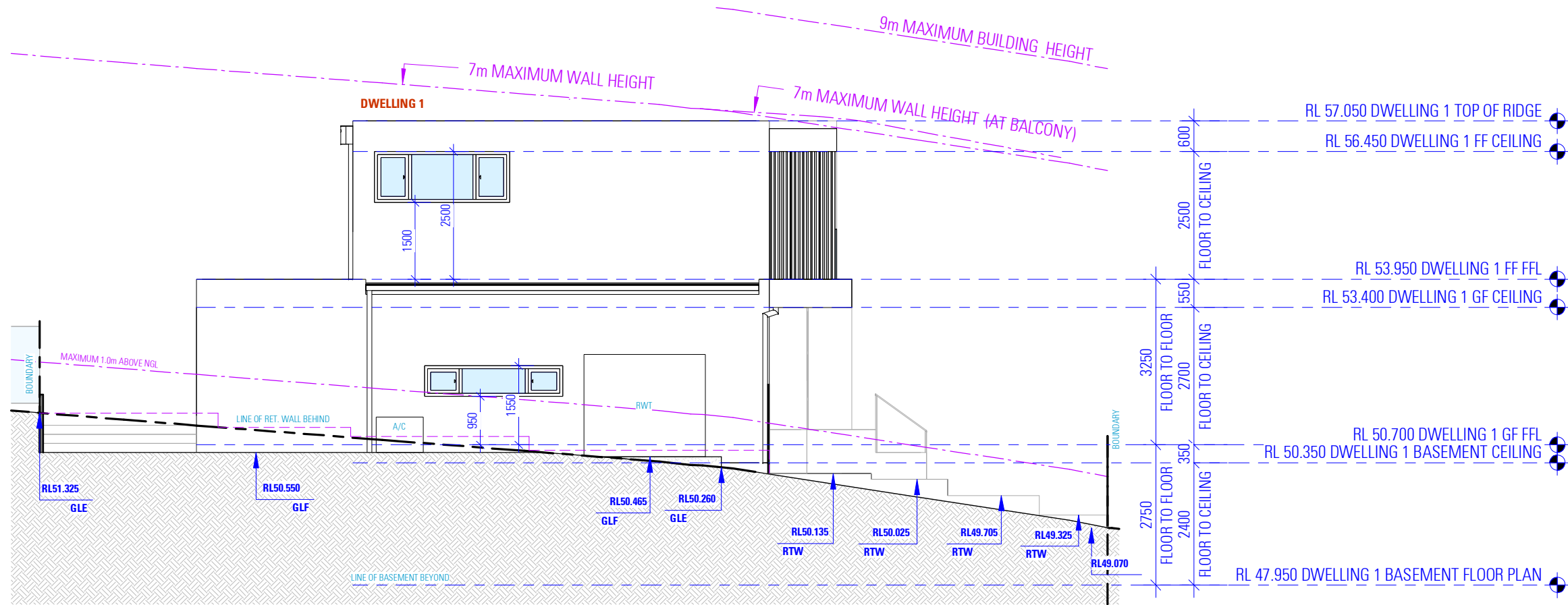
**SCALE** 1 : 100 / A3  
**ISSUE** A

**D W G No. 24324 - 106**





EAST ELEVATION  
AS SEEN FROM DUTTON STREET



SOUTH ELEVATION

NOT FOR CONSTRUCTION

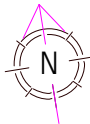
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**DETACHED DUAL OCCUPANCY**

71 DUTTON STREET  
BANKSTOWN NSW 2200

**DESIGN** NIKOLA CVETKOVSKI  
**DRAFTED** KATERINA NIKOVSKA

JOE SLEIMAN

**DRAWING**

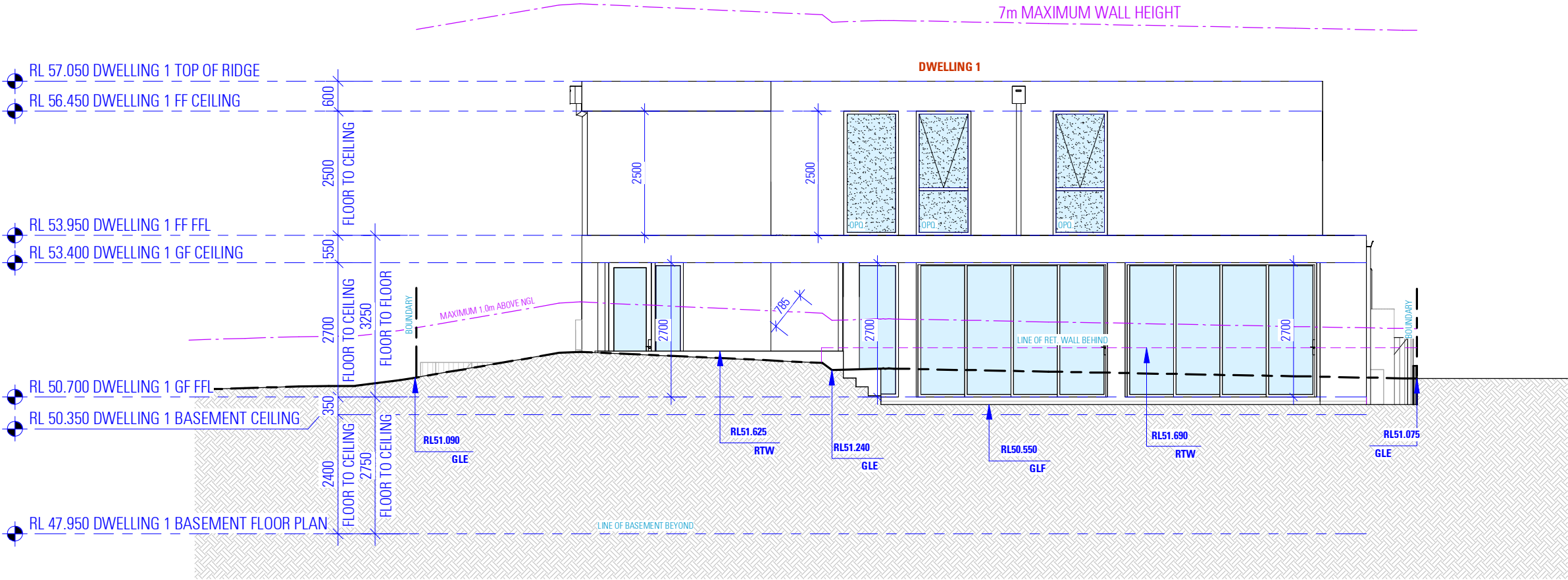
EAST AND SOUTH ELEVATION  
DWELLING 1

**SCALE** 1:100 / A3  
**ISSUE** A

**DWG No.** 24324 - 300

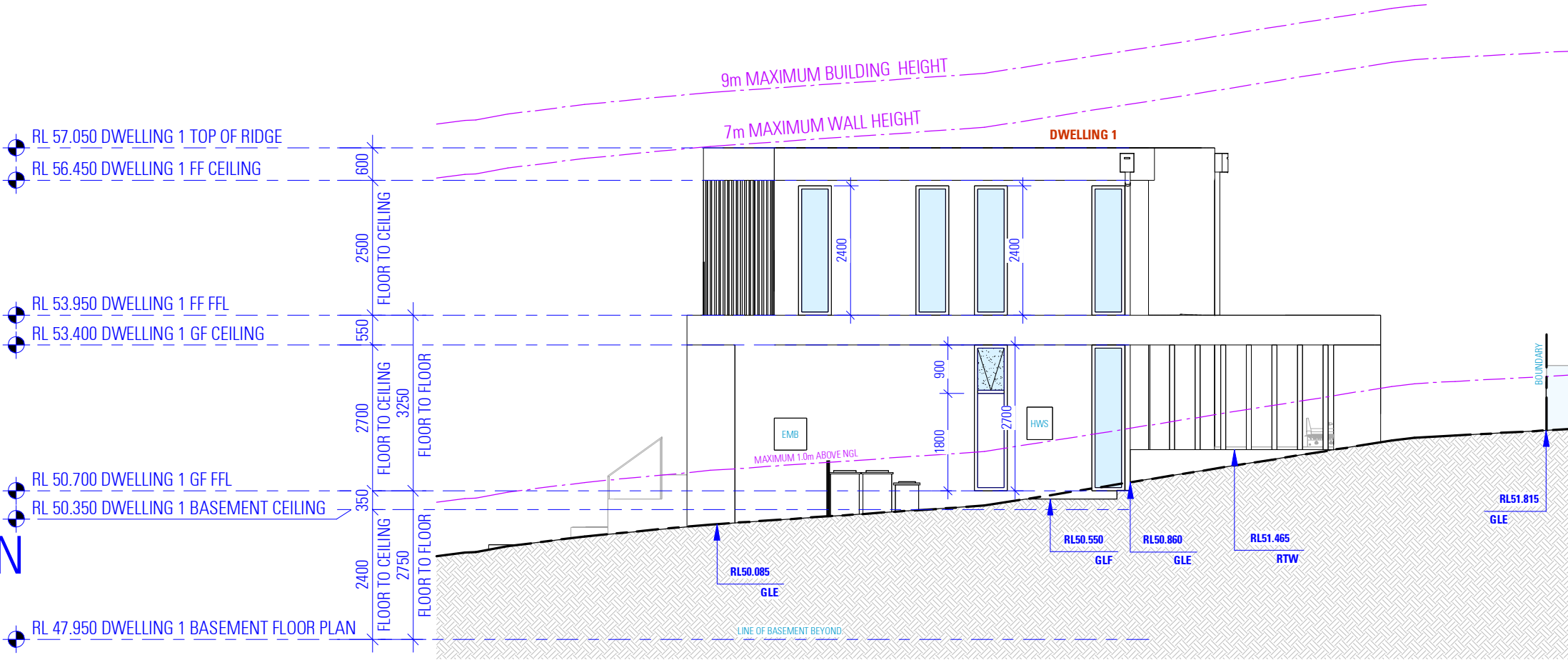


# WEST ELEVATION



# NORTH ELEVATION

AS SEEN FROM GLASSOP STREET



NOT FOR CONSTRUCTION

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**DETACHED DUAL OCCUPANCY**

71 DUTTON STREET  
BANKSTOWN NSW 2200

**DESIGN** NIKOLA CVETKOVSKI  
**DRAFTED** KATERINA NIKOVSKA

JOE SLEIMAN

**DRAWING**

WEST AND NORTH ELEVATION  
DWELLING 1

**SCALE** 1:100 / A3  
**ISSUE** A

**DWG No.** 24324 - 301










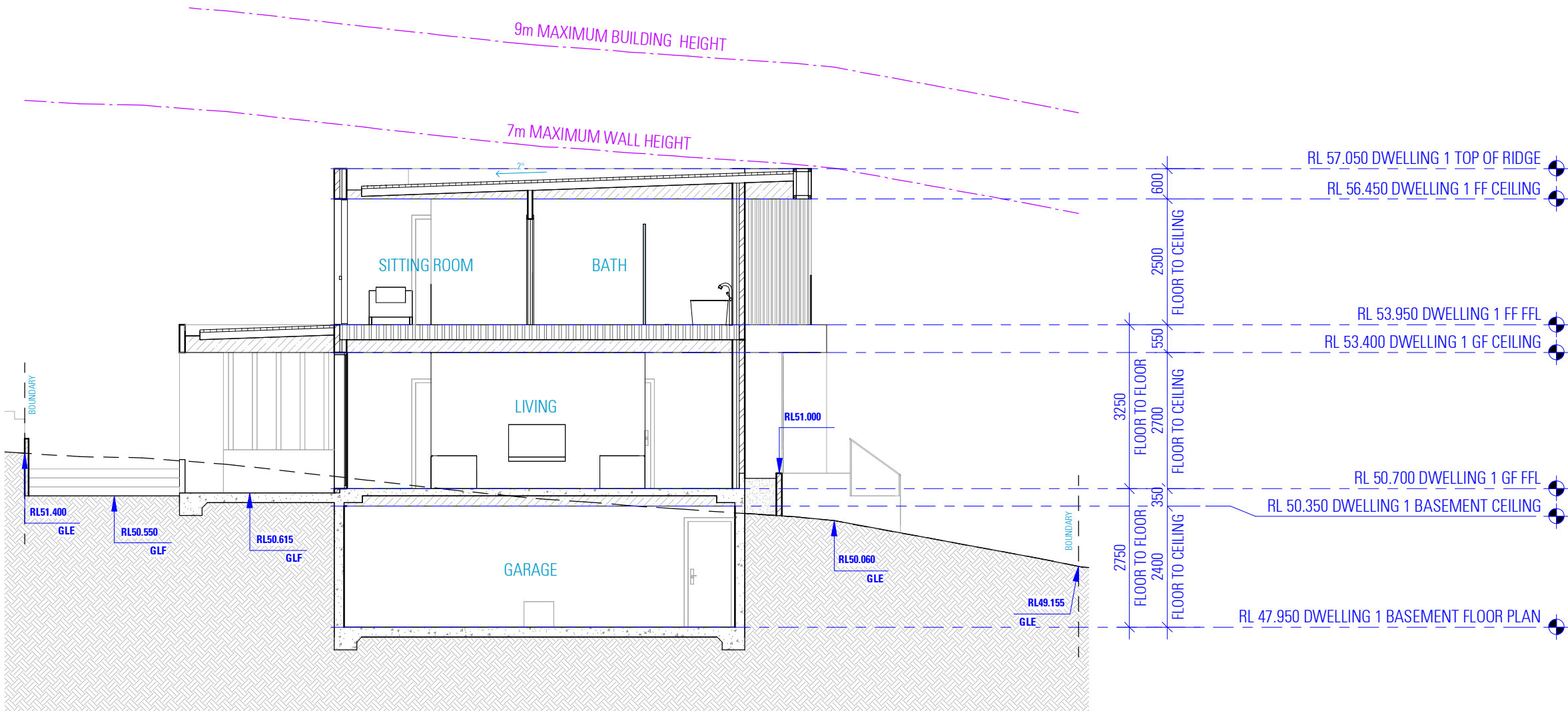









WALL SCHEDULE						
230mm DOUBLE BRICK	110mm SINGLE BRICK	250mm BRICK VENEER	90mm INTERNAL STUD	200mm AFS REDIWALL	100mm AFS REDIWALL	75mm RETAINING WALL
						
110mm BRICK SKIN 10mm MORTAR 110mm BRICK SKIN	110mm BRICK SKIN	110mm BRICK SKIN 50mm CAVITY 90mm STUD	90mm STUD	200mm CONCRETE	100mm CONCRETE	75mm CONCRETE SLEEPERS
<div>NOTES</div> <div>1. THIS SCHEDULE DETAILS MAIN WALL COMPONENTS ONLY AND THE MEASUREMENTS GIVEN DO NOT INCLUDE RENDER, PLASTER OR THE LIKE. THEY ARE PROVIDED FOR 'CONSTRUCTION' PURPOSES AND SUCH DO NOT REPRESENT THE FINAL WALL THICKNESS.</div> <div>2. EXISTING WALLS SHOWN SOLID HATCHED.</div> <div>3. THE ITEMS PROVIDED ABOVE ARE A GENERAL LIST OF WALL TYPES. VERIFY ALL DISCREPANCIES WITH THE DESIGNER BEFORE COMMENCING CONSTRUCTION.</div>						



SECTION

A

100-103


**Certificate No. 0011812070**

Scan QR code or follow website link for rating details.

Assessor name Noura Al Hazzouri

Accreditation No. DMN18/1891

Property Address 71 Dutton Street  
BANKSTOWN  
NSW 2200



hstar.com.au/QR/Generate?pn=7ZZ2aH2Pb

- NOTES
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ISSUE	DATE	DESCRIPTION



DETACHED DUAL OCCUPANCY

71 DUTTON STREET  
BANKSTOWN NSW 2200

DESIGN  
DRAFTED

NIKOLA CVETKOVSKI  
KATERINA NIKOVSKA

JOE SLEIMAN

DRAWING

SECTION VIEW A








SCALE  
ISSUE

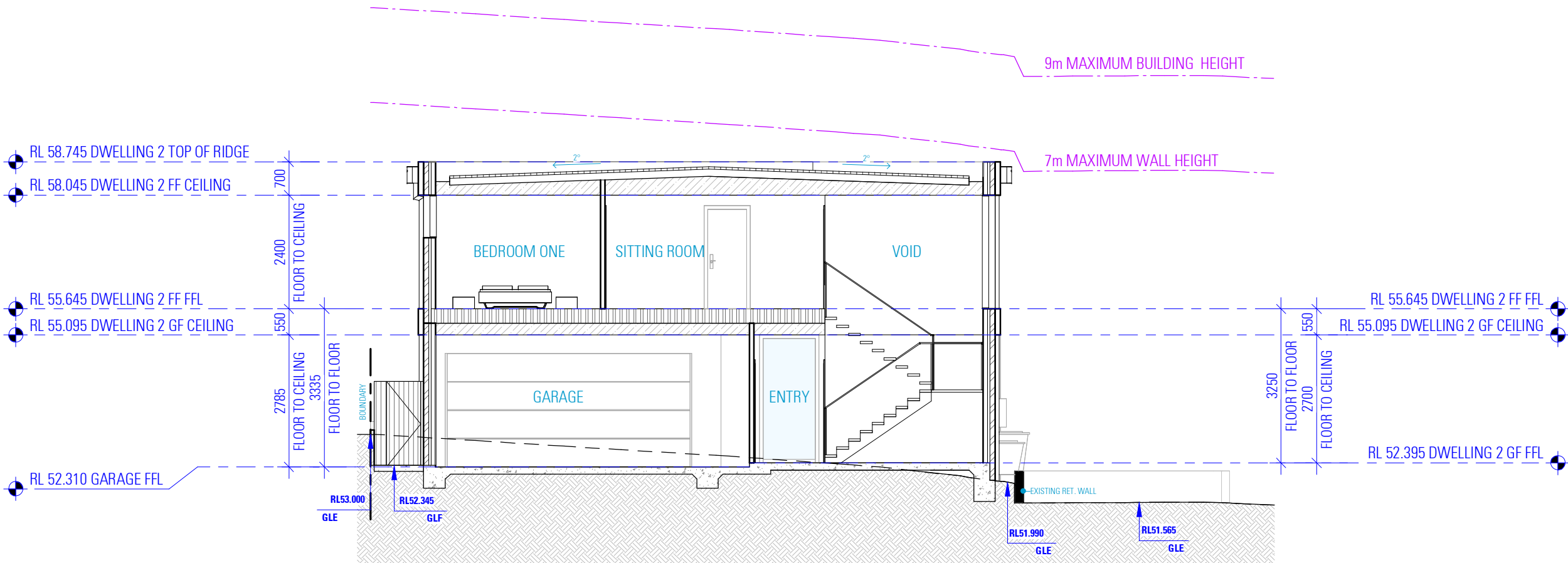
1 : 100 / A3  
A

DWG No. 24324 - 310

NOT FOR CONSTRUCTION



WALL SCHEDULE						
230mm DOUBLE BRICK	110mm SINGLE BRICK	250mm BRICK VENEER	90mm INTERNAL STUD	200mm AFS REDIWALL	100mm AFS REDIWALL	75mm RETAINING WALL
						
110mm BRICK SKIN 10mm MORTAR 110mm BRICK SKIN	110mm BRICK SKIN	110mm BRICK SKIN 50mm CAVITY 90mm STUD	90mm STUD	200mm CONCRETE	100mm CONCRETE	75mm CONCRETE SLEEPERS
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SECTION

B  
104-106

**Certificate No. 0011812070**  
Scan QR code or follow website link for rating details.

Assessor name Noura Al Hazzouri  
Accreditation No. DMN181891  
Property Address 71 Dutton Street  
BANKSTOWN  
NSW 2200  
hstar.com.au/QR/Generate?pn=7222a42f6



- NOTES
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**DETACHED DUAL OCCUPANCY**

71 DUTTON STREET  
BANKSTOWN NSW 2200

DESIGN  
DRAFTED

NIKOLA CVETKOVSKI  
KATERINA NIKOVSKA

JOE SLEIMAN

**DRAWING**

SECTION VIEW B

**SCALE** 1 : 100 / A3  
**ISSUE** A

**DWG No.** 24324 - 311

NOT FOR CONSTRUCTION



- 1

ALUMINIUM ROOF SHEETING  
RANGE: LYSAGHT  
COLOUR: SURFMIST  
OR ACCEPTABLE EQUIVALENT
- 2

CEMENT RENDER AND PAINT EXTERNAL FEATURES  
RANGE: DULUX CONCRETE EFFECT  
COLOUR: UNDERSTATED CHARM  
OR ACCEPTABLE EQUIVALENT
- 3

ALUMINIUM GUTTERS AND DOWNPIPES  
RANGE: COLORBOND  
COLOUR: MONUMENT  
OR ACCEPTABLE EQUIVALENT
- 4

FEATURE TIMBER BATTENS  
RANGE: DECOBATTEN  
COLOUR: EUROPEAN WALNUT  
OR ACCEPTABLE EQUIVALENT
- 5

FRAMELESS GLASS BALUSTRADING
- 6

POWDER-COATED ALUMINIUM WINDOWS AND GLASS DOORS  
COLOUR: MONUMENT  
OR ACCEPTABLE EQUIVALENT
- 7

CEMENT RENDER AND PAINT EXTERNAL WALLS  
RANGE: DULUX  
COLOUR: VIVID WHITE  
OR ACCEPTABLE EQUIVALENT
- 8

ALUMINIUM FRAMED GLASS ENTRY DOOR  
COLOUR: MONUMENT  
OR ACCEPTABLE EQUIVALENT
- 9

INTEGRATED ALUMINIUM ROLLER  
GARAGE DOOR  
RANGE: DECOBATTEN  
COLOUR: EUROPEAN WALNUT  
OR ACCEPTABLE EQUIVALENT



AS SEEN FROM DUTTON STREET

NOT FOR CONSTRUCTION

**NOTES**

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**DETACHED DUAL OCCUPANCY**

71 DUTTON STREET  
BANKSTOWN NSW 2200

**DESIGN** NIKOLA CVETKOVSKI  
**DRAFTED** KATERINA NIKOVSKA

JOE SLEIMAN

**DRAWING**

SCHEDULE OF EXTERNAL MATERIALS,  
COLOURS AND FINISHES DWELLING 1

**SCALE** / A3  
**ISSUE** A

**DWG No.** 24324 - 320



- 1

ALUMINIUM ROOF SHEETING  
RANGE: LYSAGHT  
COLOUR: SURFMIST  
OR ACCEPTABLE EQUIVALENT
- 2

CEMENT RENDER AND PAINT EXTERNAL FEATURES  
RANGE: DULUX CONCRETE EFFECT  
COLOUR: UNDERSTATED CHARM  
OR ACCEPTABLE EQUIVALENT
- 3

ALUMINIUM GUTTERS AND DOWNPIPES  
RANGE: COLORBOND  
COLOUR: MONUMENT  
OR ACCEPTABLE EQUIVALENT
- 4

CEMENT RENDER AND PAINT EXTERNAL WALLS  
RANGE: DULUX  
COLOUR: VIVID WHITE  
OR ACCEPTABLE EQUIVALENT
- 5

FEATURE TIMBER BATTENS  
RANGE: DECOBATTEN  
COLOUR: EUROPEAN WALNUT  
OR ACCEPTABLE EQUIVALENT
- 6

INTEGRATED ALUMINIUM ENTRY DOOR  
RANGE: DECOBATTEN  
COLOUR: EUROPEAN WALNUT  
OR ACCEPTABLE EQUIVALENT
- 7

POWDER-COATED ALUMINIUM WINDOWS AND GLASS DOORS  
COLOUR: MONUMENT  
OR ACCEPTABLE EQUIVALENT
- 8

INTEGRATED ALUMINIUM ROLLER  
GARAGE DOOR  
COLOUR: MONUMENT  
OR ACCEPTABLE EQUIVALENT



AS SEEN FROM GLASSOP STREET

NOT FOR CONSTRUCTION

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KATERINA NIKOVSKA

DETACHED DUAL OCCUPANCY

71 DUTTON STREET  
BANKSTOWN NSW 2200

JOE SLEIMAN

DRAWING

SCHEDULE OF EXTERNAL MATERIALS,  
COLOURS AND FINISHES DWELLING 2

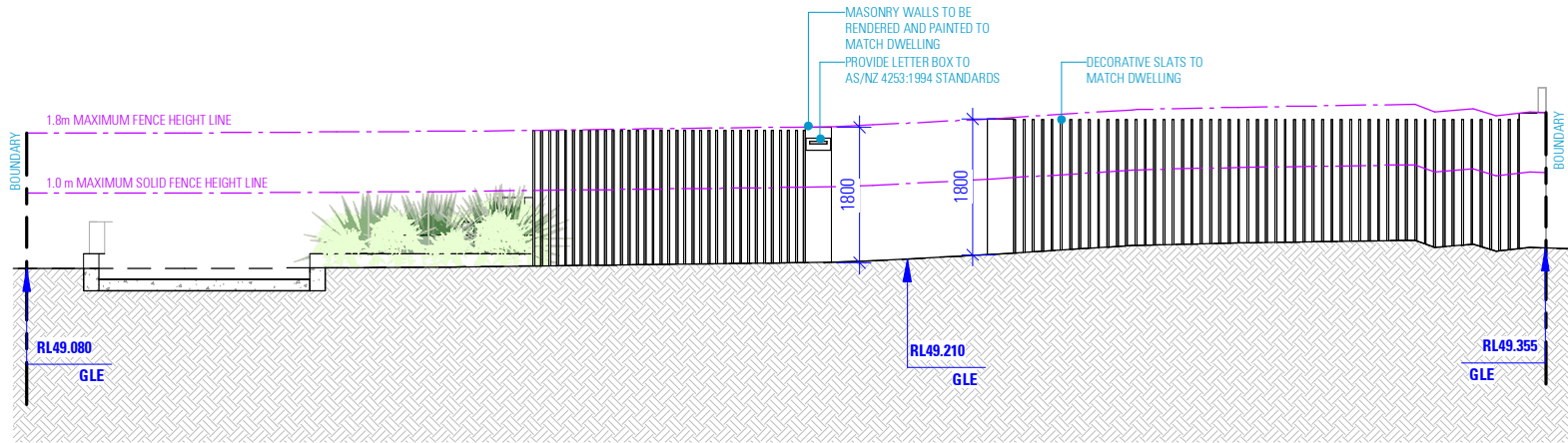
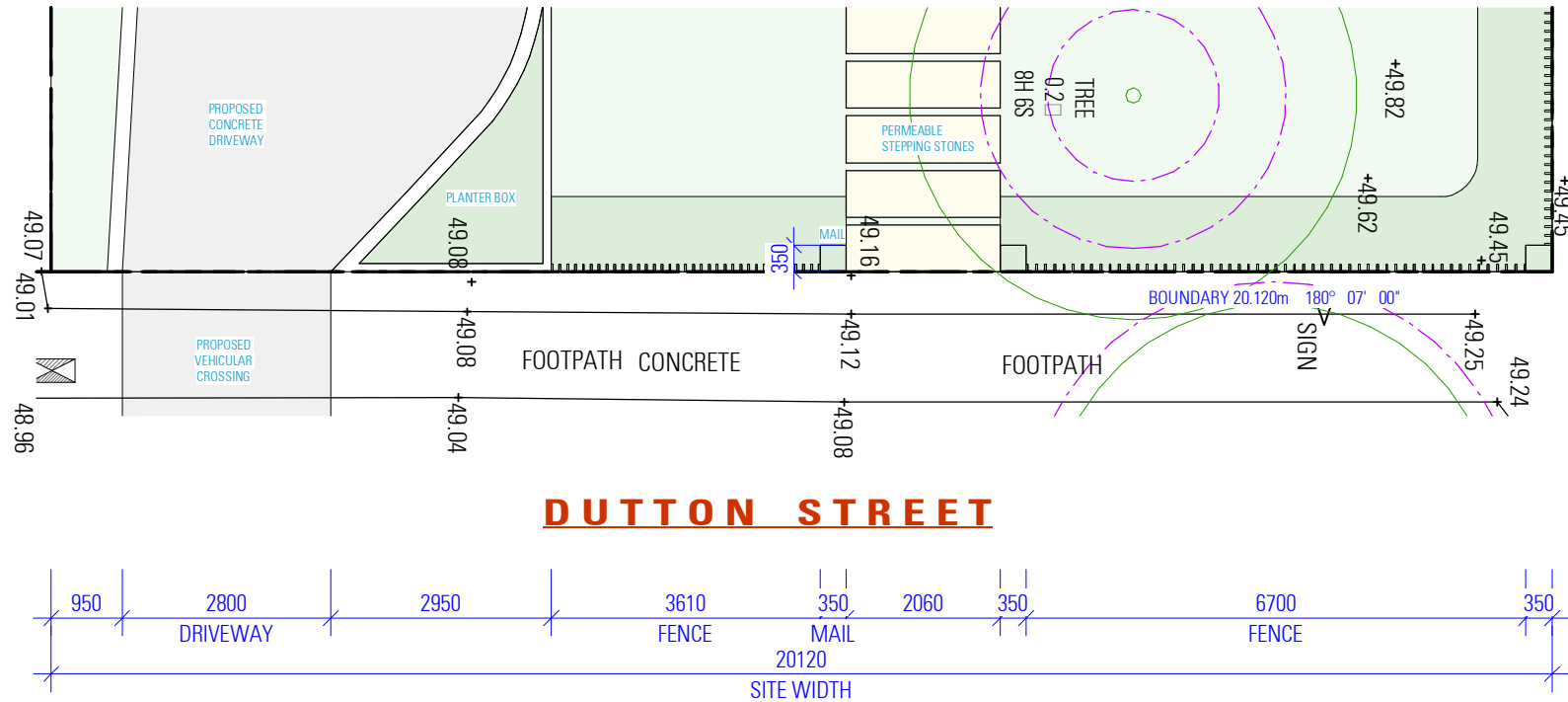
SCALE  
ISSUE

/ A3  
A

DWG No.

24324 - 321





EAST ELEVATION  
AS SEEN FROM DUTTON STREET

NOT FOR CONSTRUCTION

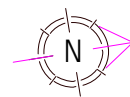
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71 DUTTON STREET  
BANKSTOWN NSW 2200

DESIGN  
DRAFTED

NIKOLA CVETKOVSKI  
KATERINA NIKOVSKA

JOE SLEIMAN

DRAWING

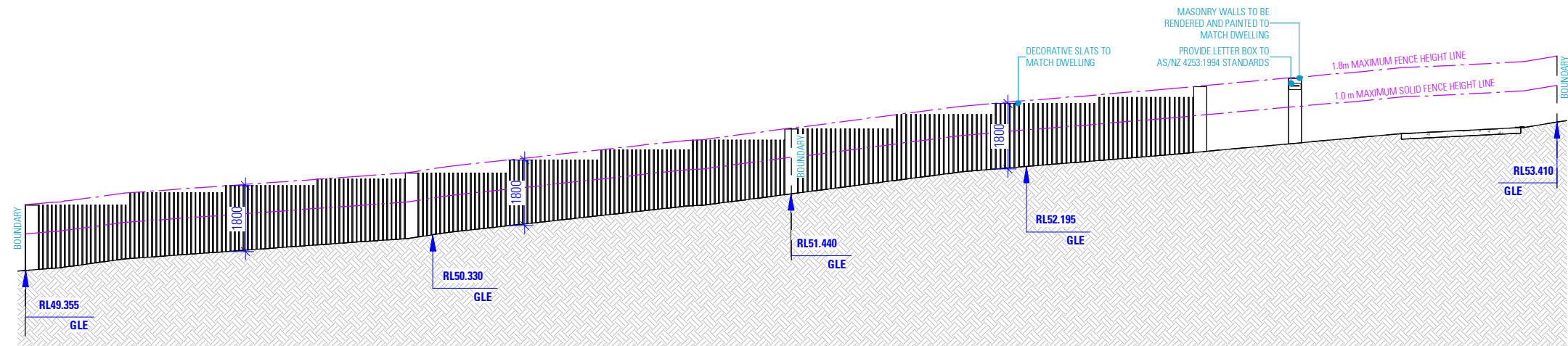
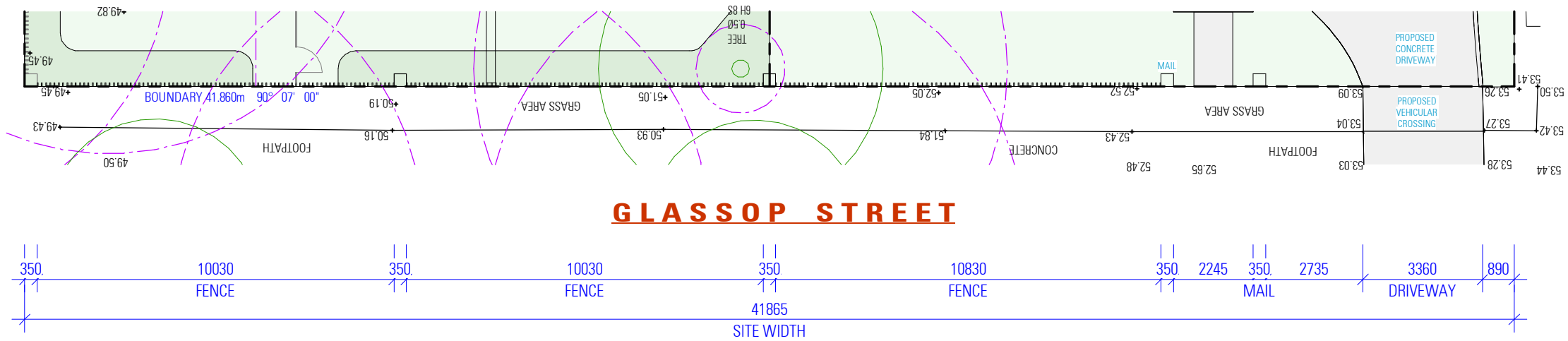
FRONT FENCE DETAILS DWELLING 1

SCALE  
ISSUE

1 : 100 / A3  
A

DWG No. 24324 - 600





NORTH ELEVATION  
AS SEEN FROM GLASSOP STREET

NOT FOR CONSTRUCTION

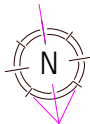
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71 DUTTON STREET  
BANKSTOWN NSW 2200

**DESIGN** NIKOLA CVETKOVSKI  
**DRAFTED** KATERINA NIKOVSKA

JOE SLEIMAN

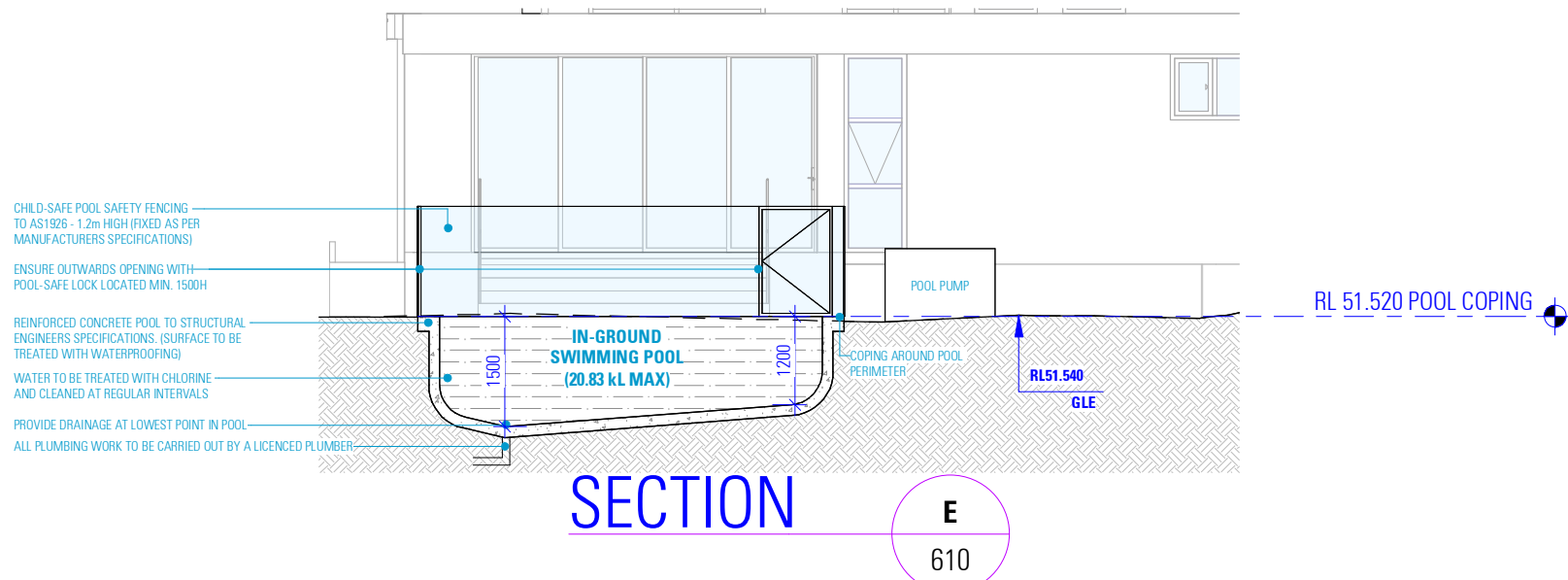
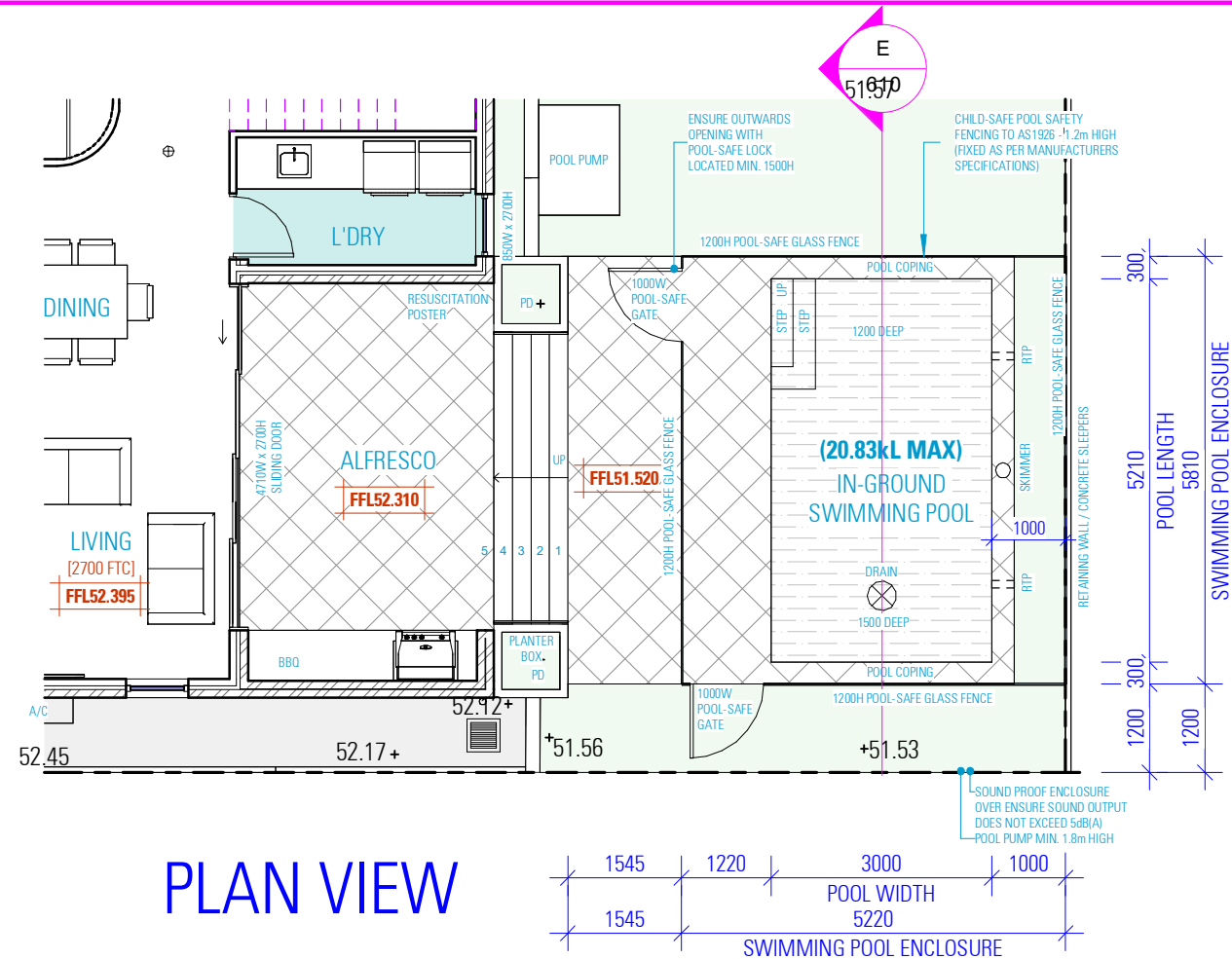
**DRAWING**

FRONT FENCE DETAILS DWELLING 2

**SCALE** 1:150 / A3  
**ISSUE** A

**DWG No.** 24324 - 601





<u>SWIMMING POOL REQUIREMENTS:</u>	
<b>GENERAL REQUIREMENTS</b>	
<ul style="list-style-type: none"><li>ALL POOLS MUST BE SEPARATED FROM RESIDENTIAL BUILDINGS AND ADJOINING PUBLIC OR PRIVATE PROPERTIES BY A COMPLYING CHILD-RESISTANT BARRIER (MUST BE IN ACCORDANCE WITH THE REGULATIONS AND AS1926:1-2012 SWIMMING POOL SAFETY BARRIER).</li><li>NO DOOR ACCESS FROM A RESIDENTIAL BUILDING INTO AN OUTDOOR POOL IS PERMITTED.</li><li>ONLY STRUCTURES ASSOCIATED WITH THE POOL (FILTER HOUSING, ETC.) ARE PERMITTED WITHIN THE ENCLOSED POOL AREA.</li><li>STRUCTURES SUCH AS CLOTHES LINES, BARBEQUE, SHEDS, ENTERTAINMENT STRUCTURE, OUTSIDE TOILETS, ETC, MUST ALL BE LOCATED OUTSIDE THE CHILD RESISTANT BARRIER.</li></ul>	<ul style="list-style-type: none"><li>THE SPACING OF VERTICAL MEMBERS OF THE FENCE SHALL NOT EXCEED 100mm.</li><li>THE HEIGHT OF ANY OPENING BETWEEN THE BOTTOM OF THE FENCE AND FINISHED GROUND LEVEL SHALL NOT EXCEED 100mm.</li><li>ALL SWIMMING POOL FENCES TO BE MAINTAINED IN A GOOD CONDITION (i.e. WITH NO HOLES, BROKEN OR LOOSE PALINGS).</li><li>NON-CLIMBABLE ZONE EXTENDS FROM THE POOL FENCE 300mm INTO THE POOL AREA AND 900mm OUTSIDE THE POOL AREA. TO PREVENT A CHILD TO CLIMB OVER THE FENCE, CLIMBABLE OBJECTS SUCH AS BARBEQUES, FURNITURE, PLANTER BOXES, TREES OR SHRUB ARE NOT PERMITTED WITHIN THIS NON-CLIMBABLE ZONE.</li><li>IF THE WALL OF THE HOUSE FORMS PART OF THE APPROVED CHILD-RESISTANT BARRIER TO THE POOL AREA, IN RELATION TO THE POOLS ACT 1992 (SECTION 18(1) AUGUST 1990), ALL DOOR AND WINDOW OPENINGS IN THE WALLS MUST BE CHILD-RESISTANT IN ACCORDANCE WITH THE REGULATIONS TO PREVENT CHILDREN ACCESSING THE POOL AREA.</li></ul>
<b>POOL FENCING</b>	<b>POOL GATES</b>
<ul style="list-style-type: none"><li>SWIMMING POOL FENCING AND OTHER BARRIERS TO BE PROVIDED TO THE POOL AREA IN ACCORDANCE WITH THE SWIMMING POOLS ACT 1992.</li><li>BOUNDARY FENCE TO BE 1.8m IN HEIGHT, MEASURED FROM INSIDE OF THE FENCING.</li><li>SWIMMING POOL FENCING TO BE AT LEAST 1.2m HIGH, MEASURED ON THE OUTSIDE OF THE FENCING.</li><li>MINIMUM 900mm SEPARATION BETWEEN THE UPPER AND LOWER HORIZONTAL MEMBERS TO MAINTAIN NON CLIMBABLE ZONE.</li><li>HORIZONTAL MEMBERS OF THE FENCE SHOULD BE PLACED ON THE INSIDE OF THE FENCE AND BE AT LEAST 900mm APART.</li></ul>	<ul style="list-style-type: none"><li>GATES TO THE SWIMMING POOL AREA ARE TO OPEN OUTWARDS AND ARE TO BE FULLY SELF-CLOSING AND SELF-LATCHING FROM ANY OPEN POSITION.</li><li>NO DOUBLE GATES ARE PERMITTED.</li><li>GATES ARE NOT TO BE PROPPED OPEN AT ANY TIME.</li></ul>
	<b>SPA POOLS</b>
	<ul style="list-style-type: none"><li>THE LATCHING DEVICE TO THE POOL GATE IS TO BE LOCATED A MINIMUM 1.5m ABOVE GROUND LEVEL AND 1.4m FROM THE HIGHEST LOWER HORIZONTAL BARRIER MEMBER OR, ALTERNATIVELY, THE DEVICE IS TO BE LOCATED INSIDE THE GATE AND THE LATCHING DEVICE IS TO BE APPROPRIATELY SHIELDED FROM THE OUTSIDE IN ACCORDANCE WITH AS1926:1-2012 (EXCLUDING CLAUSE 2.8 OF THE STANDARD) TO ENSURE THE LATCHING DEVICE IS ONLY ACCESSIBLE BY REACHING OVER THE GATE.</li><li>GATE WIDTH IS TO BE KEPT TO A MINIMUM (NO MORE THAN 1 METRE) TO MINIMISE THE POSSIBILITY OF THE WEIGHT OF THE GATE CAUSING THE GATE TO DROP WITH THE SELF-LATCHING MECHANISM FAILING.</li></ul>
	<b>RESUSCITATION WARNING SIGN</b>
	<ul style="list-style-type: none"><li>AN APPROPRIATE RESUSCITATION WARNING SIGN (AVAILABLE FROM COUNCIL OR THE ROYAL LIFE SAVING SOCIETY) IS DISPLAYED IN A PROMINANT POSITION IN THE IMMEDIATE VICINITY OF THE POOL AREA.</li></ul>
	<p>THE FOLLOWING WARNING STATEMENTS MUST BE CONTAINED WITHIN THE RESUSCITATION SIGN:</p> <ul style="list-style-type: none"><li>YOUNG CHILDREN SHOULD BE SUPERVISED WHEN USING THIS SWIMMING POOL.</li><li>POOL GATES MUST BE KEPT CLOSED AT ALL TIMES</li><li>KEEP ARTICLES, OBJECTS AND STRUCTURES AT LEAST 900 MM CLEAR OF THE POOL FENCE AT ALL TIMES</li></ul> <p>THE RESUSCITATION SIGN MUST BE:</p> <ul style="list-style-type: none"><li>LEGIBLE FROM A DISTANCE OF AT LEAST THREE METRES</li><li>MAINTAINED IN A CLEARLY LEGIBLE CONDITION</li></ul> <p>REFER TO THE SWIMMING POOLS ACT 1992, THE SWIMMING POOLS REGULATION 2018 AND AUSTRALIAN STANDARD AS 1926:1-2012 (EXCLUDING CLAUSE 2.8 OF THE STANDARD) FOR A COMPLETE LIST OF REQUIREMENTS.</p>
<b>NOT FOR CONSTRUCTION</b>	

**NOT FOR CONSTRUCTION**

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A	14.04.2025	ISSUED FOR DEVELOPMENT APPLICATION
<b>ISSUE</b>	<b>DATE</b>	<b>DESCRIPTION</b>



## DETACHED DUAL OCCUPANCY

71 DUTTON STREET  
BANKSTOWN NSW 2200

**DESIGN** NIKOLA CVETKOVSKI  
**DRAFTED** KATERINA NIKOVSKA

JOE SLEIMAN

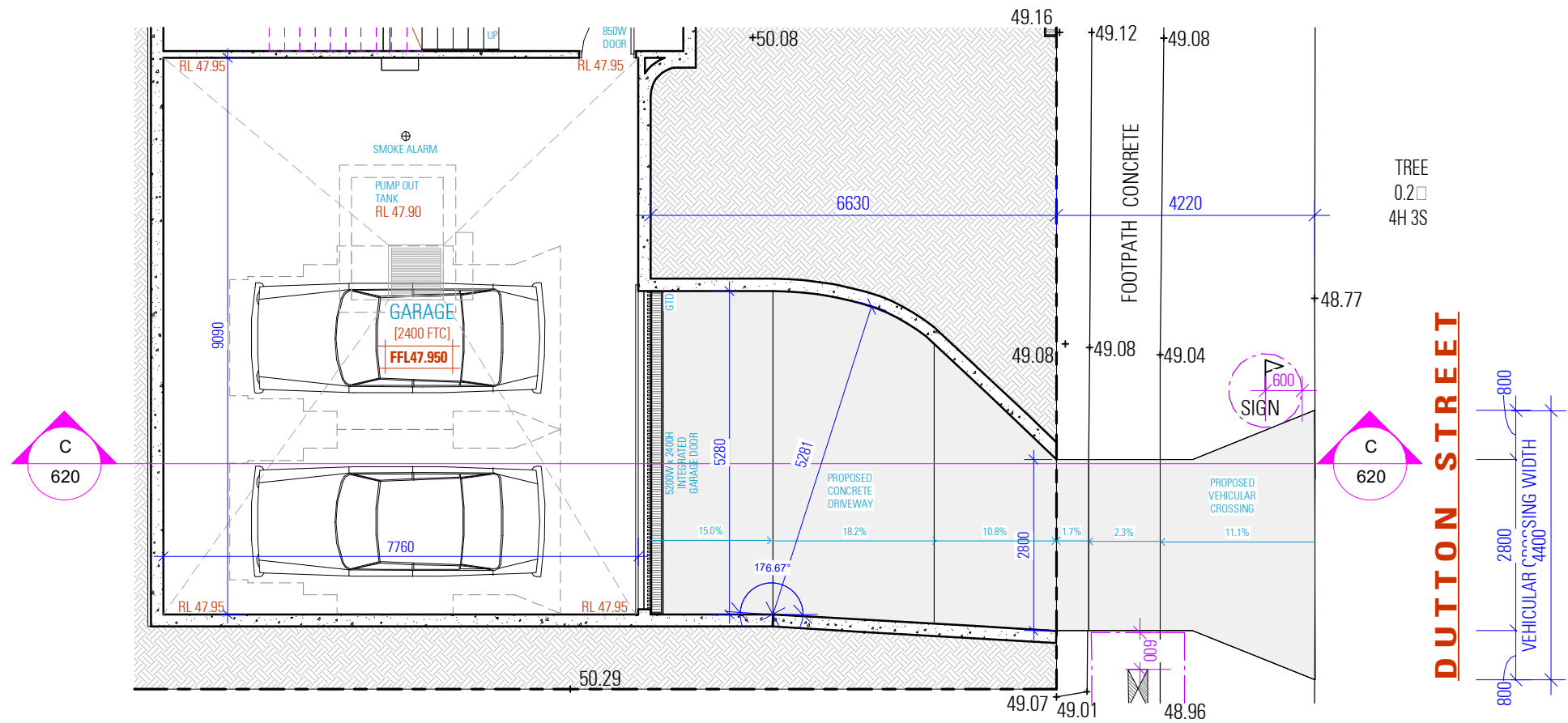
## DRAWING

## IN-GROUND SWIMMING POOL DETAILS DWELLING 2

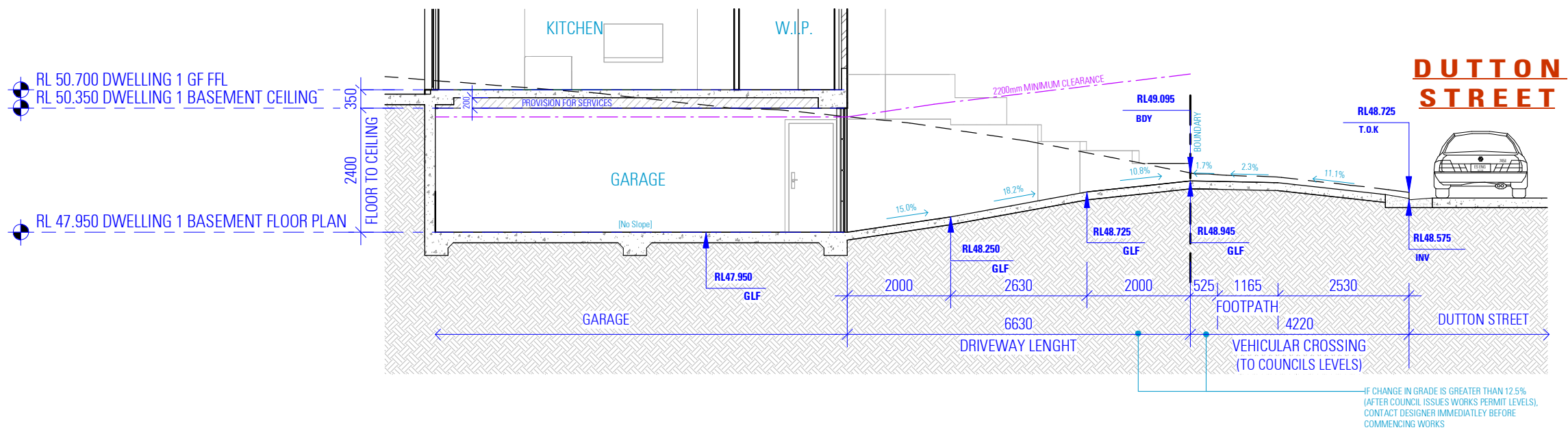
**SCALE** 1 : 100 / A3  
**ISSUE** A

DWG No. 24324 - 610





PLAN VIEW



SECTION

C

620

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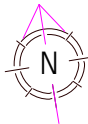
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**DETACHED DUAL OCCUPANCY**

71 DUTTON STREET  
BANKSTOWN NSW 2200

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**DRAFTED** KATERINA NIKOVSKA

JOE SLEIMAN

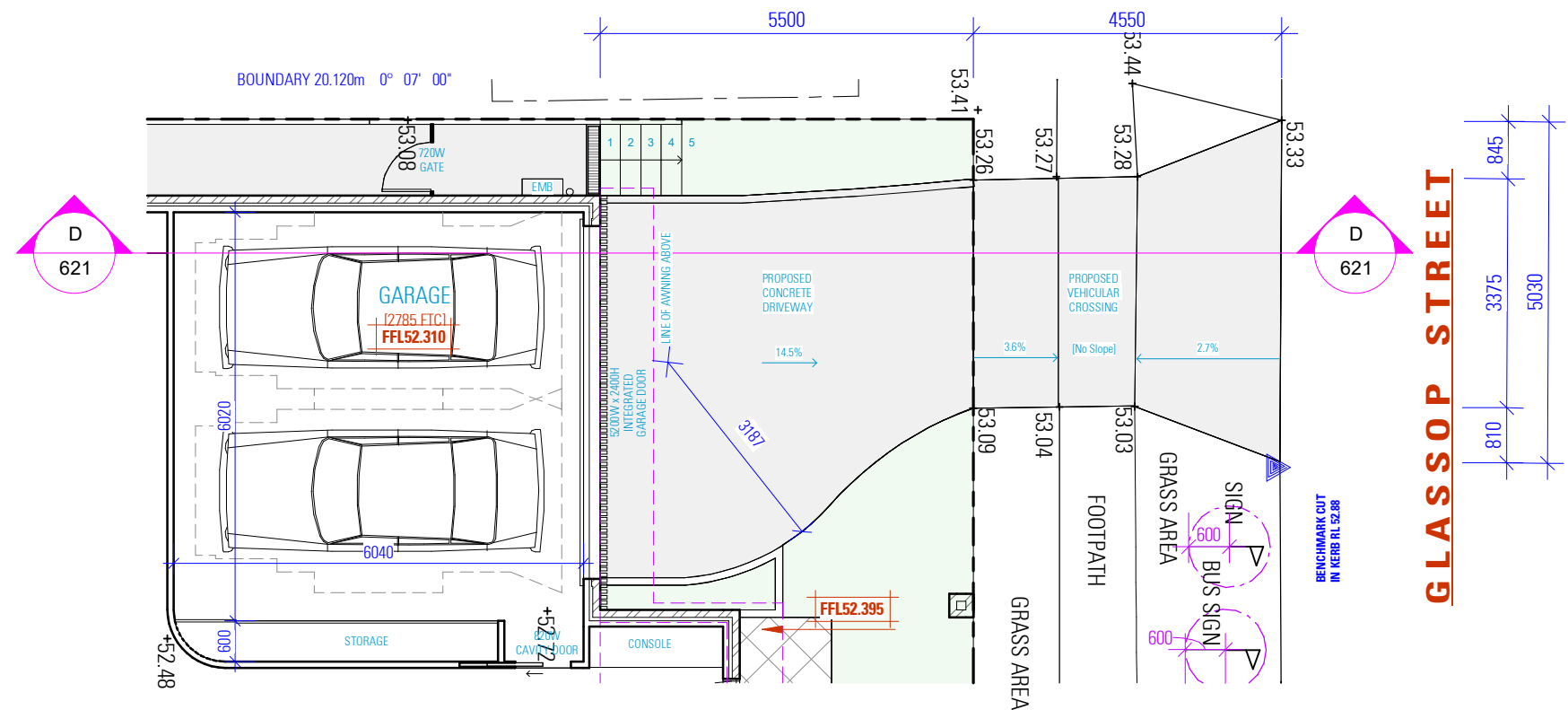
**DRAWING**

DRIVEWAY GRADE DETAILS  
DWELLING 1

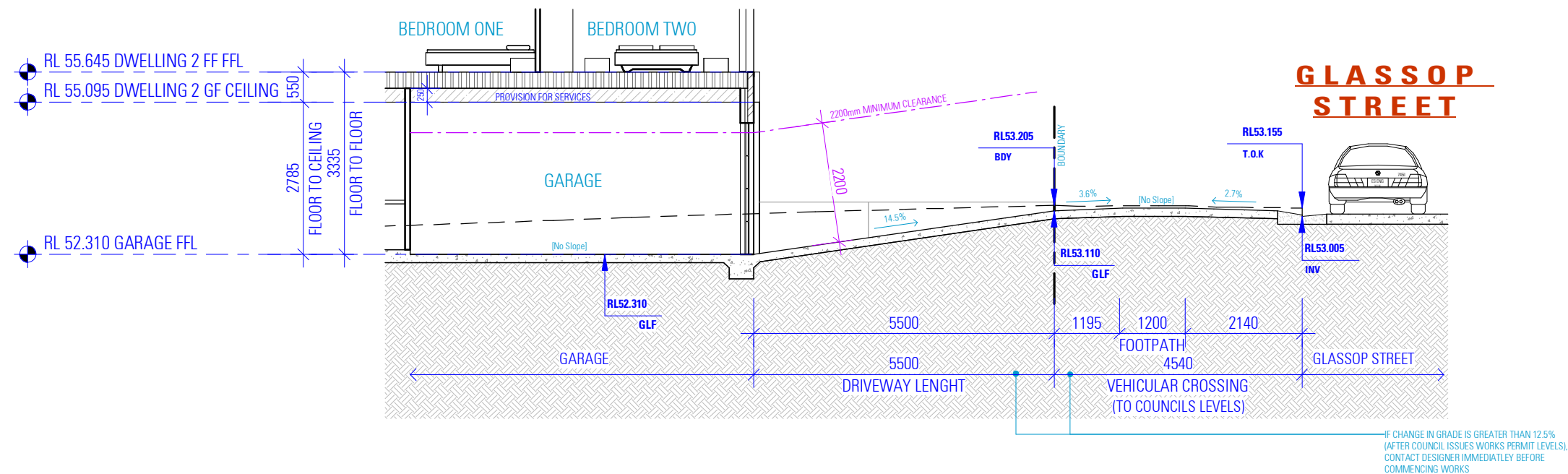
**SCALE** 1:100 / A3  
**ISSUE** A

**DWG No.** 24324 - 620





PLAN VIEW



SECTION

D  
621

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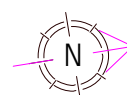
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**DETACHED DUAL OCCUPANCY**

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BANKSTOWN NSW 2200

**DESIGN** NIKOLA CVETKOVSKI  
**DRAFTED** KATERINA NIKOVSKA

JOE SLEIMAN

**DRAWING**

DRIVEWAY GRADE DETAILS  
DWELLING 2

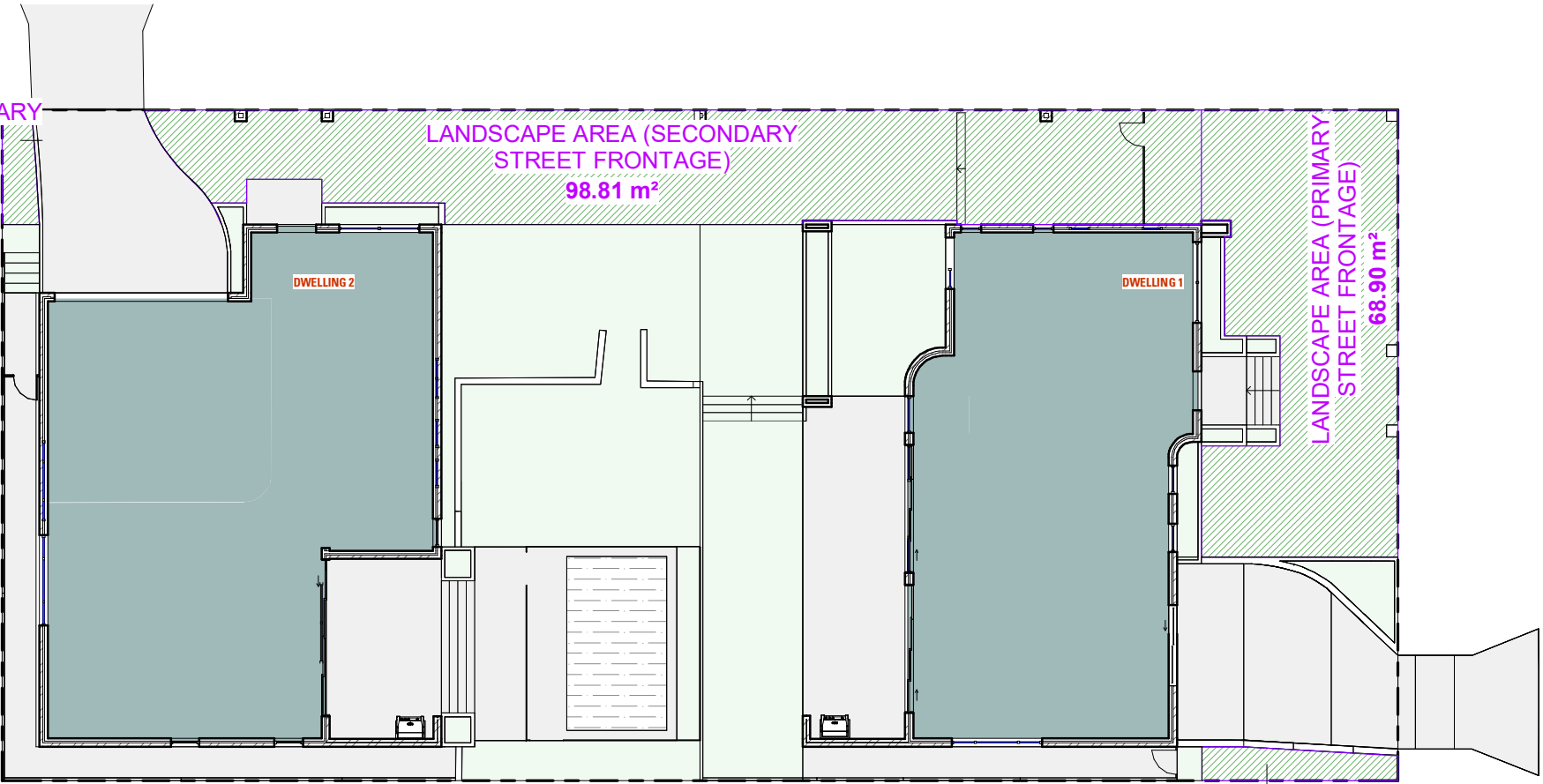
**SCALE** 1:100 / A3  
**ISSUE** A

**DWG No.** 24324 - 621



LANDSCAPE CALCULATIONS				
ITEM		REQUIREMENT		DWELLING 1   DWELLING 2
LANDSCAPE AREA (SITE)				313.91sqm
LANDSCAPE AREA (PRIMARY STREET FRONTAGE)		>45.00%	53.373sqm	68.90sqm >58.35%
LANDSCAPE AREA (SECONDARY STREET FRONTAGE)		>45.00%	55.683sqm	98.81sqm >79.85%
TOTAL SITE AREA				842.10 m²

LANDSCAPE AREA (SECONDARY ROAD)  
3.49 m²



LANDSCAPE AREA (PRIMARY ROAD)  
5.37 m²

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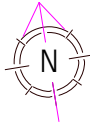
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**DETACHED DUAL OCCUPANCY**

71 DUTTON STREET  
BANKSTOWN NSW 2200

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**DRAFTED** KATERINA NIKOVSKA

JOE SLEIMAN

**DRAWING**

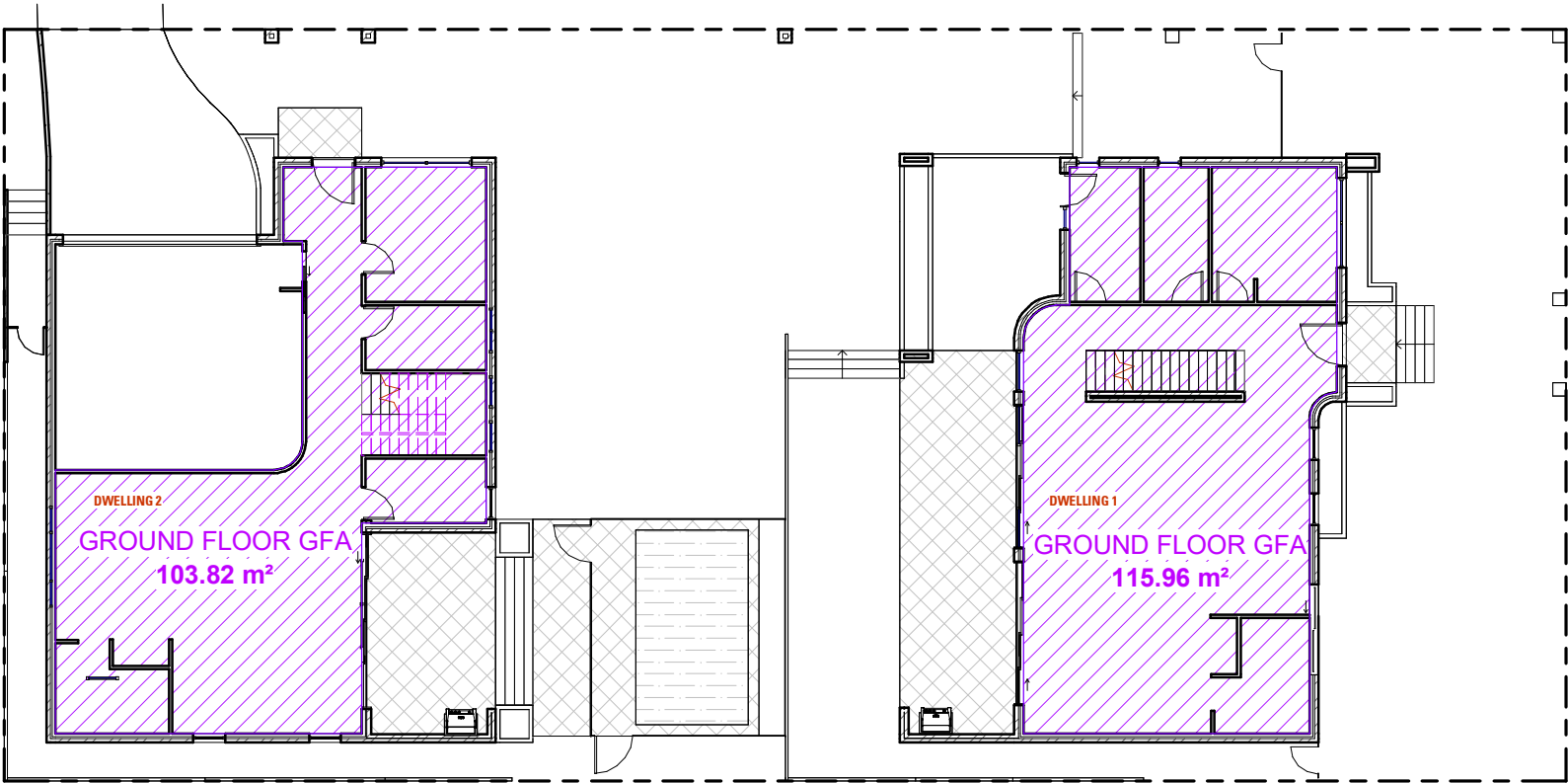
LANDSCAPE AREA CALCULATION  
SHEET

**SCALE** 1 : 200 / A3  
**ISSUE** A

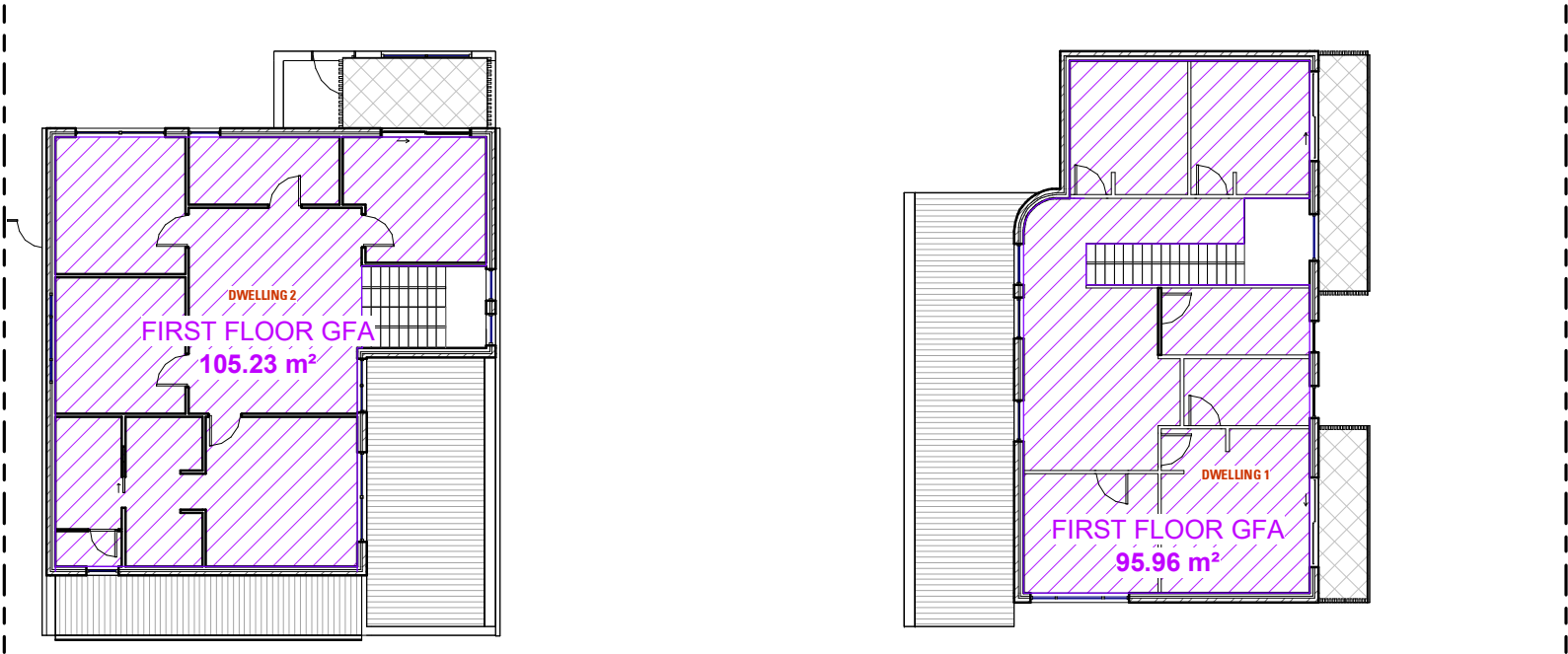
**DWG No.** 24324 - 900



GROUND FLOOR GFA



FIRST FLOOR GFA



SITE CALCULATION			
TOTAL SITE AREA	842.10 m <sup>2</sup>	LANDSCAPE AREA	167.71sqm
TOTAL FLOOR AREA	420.98 m <sup>2</sup>	LANDSCAPE AREA (PRIMARY ROAD)	68.9 sqm >58.35%
FLOOR SPACE RATIO	0.50 : 1.0	LANDSCAPE AREA (SECONDARY ROAD)	98.81sqm >79.85%
IMPERVIOUS AREA (<66%)	495.16 m <sup>2</sup> (58.8%)		
DWELLING 1 DETAILS		DWELLING 2 DETAILS	
LOT AREA	421.17 m <sup>2</sup>	LOT AREA	421.17 m <sup>2</sup>
GROUND FLOOR AREA	115.96 m <sup>2</sup>	GROUND FLOOR AREA	103.82 m <sup>2</sup>
FIRST FLOOR AREA	95.96 m <sup>2</sup>	FIRST FLOOR AREA	105.23 m <sup>2</sup>
TOTAL FLOOR AREA	211.93 m <sup>2</sup>	TOTAL FLOOR AREA	209.05 m <sup>2</sup>
FLOOR SPACE RATIO	0.50 : 1.0	FLOOR SPACE RATIO	0.49 : 1.0
PRIVATE OPEN SPACE	82.48 m <sup>2</sup>	PRIVATE OPEN SPACE	82.82 m <sup>2</sup>

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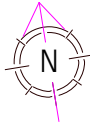
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**DETACHED DUAL OCCUPANCY**

71 DUTTON STREET  
BANKSTOWN NSW 2200

**DESIGN** NIKOLA CVETKOVSKI  
**DRAFTED** KATERINA NIKOVSKA

**JOE SLEIMAN**

**DRAWING**

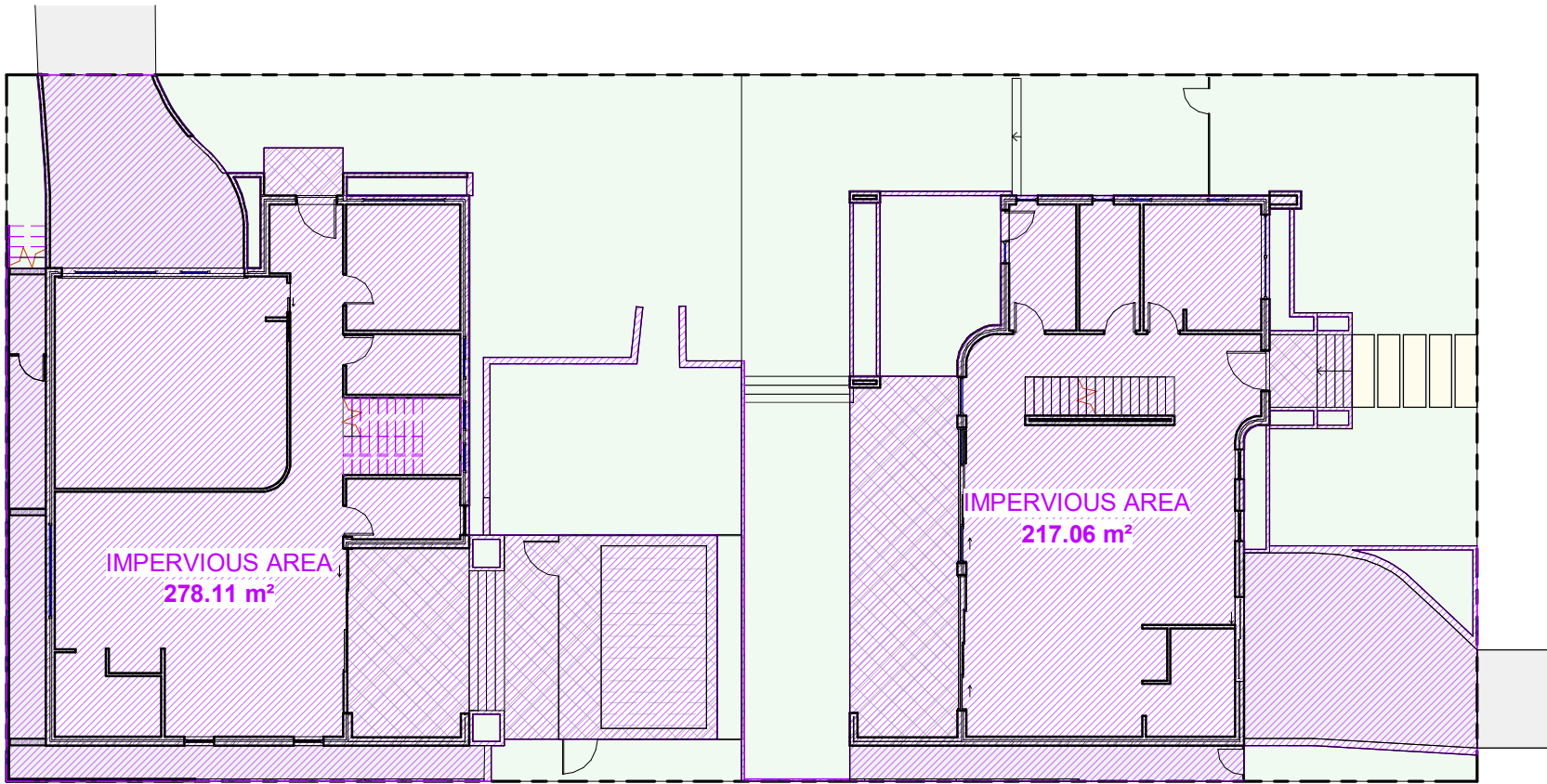
**GROSS FLOOR AREA CALCULATION SHEET**

**SCALE** 1 : 200 / A3  
**ISSUE** A

**DWG No.** 24324 - 910



SITE CALCULATION			
TOTAL SITE AREA	842.10 m <sup>2</sup>	LANDSCAPE AREA	167.71sqm
TOTAL FLOOR AREA	420.98 m <sup>2</sup>	LANDSCAPE AREA (PRIMARY ROAD)	68.9 sqm >58.35%
FLOOR SPACE RATIO	0.50 : 1.0	LANDSCAPE AREA (SECONDARY ROAD)	98.81sqm >79.85%
IMPERVIOUS AREA (<66%)	495.16 m <sup>2</sup> (58.8%)		
DWELLING 1 DETAILS		DWELLING 2 DETAILS	
LOT AREA	421.17 m <sup>2</sup>	LOT AREA	421.17 m <sup>2</sup>
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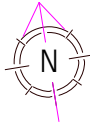


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ISSUE	DATE	DESCRIPTION



**DETACHED DUAL OCCUPANCY**  
71 DUTTON STREET  
BANKSTOWN NSW 2200

**DESIGN** NIKOLA CVETKOVSKI  
**DRAFTED** KATERINA NIKOVSKA

JOE SLEIMAN

**DRAWING**  
IMPREVIOUS AREA CALCULATION  
PLAN

**SCALE** 1 : 200 / A3  
**ISSUE** A

**DWG No.** 24324 - 920



# BASIX COMMITMENTS

## BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

### Multi Dwelling

Certificate number: 1789217M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. If it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Thursday, 27 March 2025  
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NalHERS certificate 0011812070.

Project summary		
Project name	71_dut	
Street address	71 DUTTON STREET BANKSTOWN 2200	
Local Government Area	CANTERBURY-BANKSTOWN	
Plan type and plan number	Deposited Plan: 402398	
Lot No.	A	
Section no.	-	
No. of residential flat buildings	0	
Residential flat buildings: no. of dwellings	0	
Multi-dwelling housing: no. of dwellings	2	
No. of single dwelling houses	0	
Project score		
Water	✓ 41	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 90	Target 72
Materials	✓ -71	Target n/a

Certificate Prepared by		
Name / Company Name	Neura Al Hazzout	
ABN (if applicable)		

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS\_03\_01\_0 Certificate No: 1789217M Thursday, 27 March 2025 page 1/16

## Description of project

Project address		Common area landscape	
Project name	71_dut	Common area lawn (m²)	0
Street address	71 DUTTON STREET BANKSTOWN 2200	Common area garden (m²)	0
Local Government Area	CANTERBURY-BANKSTOWN	Area of indigenous or low water use species (m²)	-
Plan type and plan number	Deposited Plan 402398	Assessor details and thermal loads	
Lot No.	A	Assessor number	DAM/19/1891
Section no.	-	Certificate number	0011812070
Project type		Climate zone	56
No. of residential flat buildings	0	Project score	
Residential flat buildings: no. of dwellings	0	Water	✓ 41 Target 40
Multi-dwelling housing: no. of dwellings	2	Thermal Performance	✓ Pass Target Pass
No. of single dwelling houses	0	Energy	✓ 90 Target 72
Site details		Materials	✓ -71 Target n/a
Site area (m²)	985.9		
Roof area (m²)	340		
Non-residential floor area (m²)	0		
Residential car spaces	2		
Non-residential car spaces	0		

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## Description of project

The tables below describe the dwellings and common areas within the project

### Multi-dwelling houses

Dwelling no.	No. of bedrooms	Area of habitable room (m²)	Area of garden & indigenous species (m²)	Dwelling no.	No. of bedrooms	Area of habitable room (m²)	Area of garden & indigenous species (m²)
DW1	4+	233.9	22.16	DW2	4+	189.6	19.7
		94	0			94	0

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## No common areas specified.

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## Schedule of BASIX commitments

- Commitments for multi-dwelling housing
  - Dwellings
    - Water
    - Energy
    - Thermal Performance and Materials
- Commitments for common areas and central systems/facilities for the development (non-building specific)
  - Water
  - Energy

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## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

### 1. Commitments for multi-dwelling housing

(i) Dwellings	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a feature or appliance to be installed in the dwelling, the applicant must ensure that each such feature and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(h) The pool or spa must be located as specified in the table.	✓	✓	
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS\_03\_01\_0 Certificate No: 1789217M Thursday, 27 March 2025 page 6/16

		Fixtures				Appliances		Individual pool			Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover
DW1	4 star (> 4.5 but <= 6 Litres)	4 star	5 star	5 star	-	-	-	-	-	-	-	-	-
All other dwellings	4 star (> 4.5 but <= 6 Litres)	4 star	5 star	5 star	-	-	-	20.83	yes	outdoors	no	-	-

Alternative water source						
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (l)	Laundry connection
All dwellings	Individual water tank (No. 1)	Tank size (min) 1000 litres	To collect run-off from at least 80 square metres of roof area;	yes	yes	no

(i) Energy			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.					
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.			✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.				✓	✓
(d) The applicant must install the cooling and heating system's specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in or at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zone" is specified beside an air conditioning system, then the system must provide for daylight zoning between living areas and bedrooms.				✓	✓

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS\_03\_01\_0 Certificate No: 1789217M Thursday, 27 March 2025 page 7/16

(i) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.	✓	✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.		✓	
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

Dwelling no.	Hot water system	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
		Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous - 4 star	individual fan, ducted to facade or roof	manual switch on/off	individual fan, ducted to facade or roof	manual switch on/off	individual fan, ducted to facade or roof	manual switch on/off

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS\_03\_01\_0 Certificate No: 1789217M Thursday, 27 March 2025 page 8/16

## NOTES

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- VERIFY ALL DIMENSIONS ON SITE
- DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
- VERIFY ALL DISCREPANCIES WITH THE DESIGNER
- ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) & AUSTRALIAN STANDARDS

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A	14.04.2025	ISSUED FOR DEVELOPMENT APPLICATION
ISSUE	DATE	DESCRIPTION



## DETACHED DUAL OCCUPANCY

71 DUTTON STREET  
BANKSTOWN NSW 2200

DESIGN  
DRAFTED  
#

NIKOLA CVETKOVSKI

JOE SLEIMAN

## DRAWING

## BASIX COMMITMENTS

SCALE  
ISSUE  
A

/ A3

DWG No. 24324 - 940

NOT FOR CONSTRUCTION



# BASIX COMMITMENTS

Cooling		Heating		Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bathrooms or toilets
All dwellings	1-phase airconditioning - ducted / 2 star (average zone)	1-phase airconditioning - ducted / 2 star (average zone)	1-phase airconditioning - ducted / 2 star (average zone)	1-phase airconditioning - ducted / 2 star (average zone)	3
					yes

Individual pool		Individual spa		Appliances other efficiency measures				
Dwelling no.	Pool heating system	Pool Pump	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Dishwasher	Clothes dryer
DW1	-	-	-	-	-	gas cooktop & electric oven	-	-
All other dwellings	gas	not specified	yes	-	-	gas cooktop & electric oven	-	-
								no
								yes

Alternative energy		Orientation inputs	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)	Photovoltaic collector installation	Orientation
All dwellings	between >0° to <=10° degree to the horizontal	5	N

(ii) Thermal Performance and Materials		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, the applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development).				
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.				
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.				
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.				

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(ii) Thermal Performance and Materials		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.				
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.				
(g) Where there is an in-slab heating or cooling system, the applicant must:				
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or				
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.				
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.				
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.				
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.				

Thermal loads		Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	
Dwelling no.	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
DW1	14.2	15	29.200

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Thermal loads		Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	
Dwelling no.	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
All other dwellings	16	13.2	29.200

Construction of floors and walls		Suspended floor above enclosed subfloor	
Dwelling no.	Concrete slab on ground	Suspended floor with open subfloor (m <sup>2</sup> )	Suspended floor above garage (m <sup>2</sup> )
All dwellings	-	-	113

Floor types		Suspended floor above enclosed subfloor	
Dwelling no.	Area (m <sup>2</sup> )	Insulation	Low emissions option
All dwellings	-	-	-

Floor types		Suspended floor above garage	
Dwelling no.	Construction type	Area (m <sup>2</sup> )	Insulation
DW1	-	-	-
All other dwellings	-	-	-

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS\_03\_01\_0 Certificate No.: 1789217M Thursday, 27 March 2025 page 11/16

External walls		External wall type 1		External wall type 2	
Dwelling no.	Wall type	Area (m <sup>2</sup> )	Insulation	Low emissions option	Wall type
DW1	brick veneer, frame: timber - H2 treated softwood	130	fibreglass batts or roll	none	concrete block/ plasterboard
All other dwellings	brick veneer, frame: timber - H2 treated softwood	130	fibreglass batts or roll	-	-

External walls		External wall type 3		External wall type 4	
Dwelling no.	Wall type	Area (m <sup>2</sup> )	Insulation	Low emissions option	Wall type
All dwellings	-	-	-	-	-

Internal walls		Internal wall type 1		Internal wall type 2	
Dwelling no.	Wall type	Area (m <sup>2</sup> )	Insulation	Low emissions option	Wall type
DW1	single skin masonry	28	-	-	plasterboard, frame: timber - H2 treated softwood
All other dwellings	plasterboard, frame: timber - H2 treated softwood	28	fibreglass batts or roll	-	plasterboard, frame: timber - H2 treated softwood

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Ceiling and roof		Raked ceiling / pitched or skillion roof		Flat ceiling / flat roof	
Dwelling no.	Construction type	Area (m <sup>2</sup> )	Insulation	Construction type	Area (m <sup>2</sup> )
All dwellings	-	-	Ceiling: Roof	-	-

Glazing type		Frame types	
Dwelling no.	Single glazing (m <sup>2</sup> )	Double glazing (m <sup>2</sup> )	Triple glazing (m <sup>2</sup> )
DW1	51	32	-
All other dwellings	61.7	-	-

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2. Commitments for common areas and central systems/facilities for the development (non-building specific)		Show on DA plans	
(b) Common areas and central systems/facilities		Show on CC/CDC plans & specs	
(i) Water		Certifier check	
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.			
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.			
(c) A swimming pool or spa listed in the table must not have a volume (in kL) greater than that specified for the pool or spa in the table.			
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.			
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.			
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.			




Common area		Toilets rating		Clothes washers rating	
All common areas	Showerheads rating	no common facility	no common facility	no common laundry facility	

(ii) Energy		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.				
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.				
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.				

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Central energy systems		Type	Specification
Other		-	-

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Notes	
1. In these commitments, "applicant" means the person carrying out the development.	
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.	
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.	
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).	
5. If a star or other rating is specified in a commitment, this is a minimum rating.	
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.	
Legend	
1. Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
2. Commitments identified with a  in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
3. Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfillment it is required to monitor in relation to the building or part, has been fulfilled).	

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- NOTES**
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A	14.04.2025	ISSUED FOR DEVELOPMENT APPLICATION
ISSUE	DATE	DESCRIPTION



DESIGN  
DRAFTED  
NIKOLA CVETKOVSKI  
##

**DETACHED DUAL OCCUPANCY**

71 DUTTON STREET  
BANKSTOWN NSW 2200

**DRAWING**

**BASIX COMMITMENTS**

SCALE  
ISSUE  
A

DWG No. 24324 - 941

**NOT FOR CONSTRUCTION**



# NATHERS COMMITMENTS

<b>Nationwide House Energy Rating Scheme® NATHERS® Certificate No. 0011812047</b>		<b>Thermal performance Star rating</b>
Generated on 27 Mar 2025 using BERS Pro v5.2.4 (3.23)		
<b>Property</b>		
Address	Unit 1, 71 Dutten Street, BANKSTOWN, NSW, 2200	
LotIDP	Lot A 4022398	
NCC class*	Suburban	
Floor/total Floors	G / 3 floors	
Type	New Home	
<b>Plans</b>		
Main plan	03326	
Prepared by	ES Design	
<b>Construction and environment</b>		
Assessed floor area [m²]	Exposure type	
Conditioned	201.5	
Unconditioned†	13.8	
Total	286.5	
Garage	70.3	
	NATHERS climate zone	
	56 Mascot (Sydney Airport)	
<p>The more stars, the more energy efficient</p> <p><b>7.1</b></p> <p><b>NATIONWIDE HOUSE ENERGY RATING SCHEME®</b></p>		
<b>29.2 MJ/m²</b> <small>Predicted annual energy use per heated room floor area based on assumed occupancy assumptions.</small>		
For more information on our free planning tool visit: <a href="http://www.nathers.gov.au">www.nathers.gov.au</a>		
<b>Thermal Performance (MJ/m²)</b>		
Limits taken from ABCB Standard 2022		
	Heating	Cooling
Modelled	14.2	14.9
Limit limits	N/A	N/A
<b>Features considered load limits</b>		
Floor Type	(lowest conditioned area)	CSOG
NCC climate zone	Outdoor living area	No
Outdoor climate zone	Outdoor living area ceiling fan	No
	Outdoor climate zone ceiling fan	No
<b>Whole of Home performance rating</b>		
No Whole of Home performance rating generated for this certificate.		
<b>Verification</b>		
To verify the certificate, scan the QR code or visit <a href="https://ncc.nathers.gov.au/ncc/homeplan/">ncc.nathers.gov.au/ncc/homeplan/</a> . When using either link, make sure you are visiting nthers.gov.au		

**National Construction Code (NCC) requirements**

The NCC includes the use of NatHERS accredited assessors to comply with the energy efficiency requirements for houses (Classes 1 buildings) and apartments (Class 2, three-occupancy units Class 3 and 4 type of building). The applicable requirements for houses are detailed in Specification 4.2 of the NCC Volume Two. For apartments the requirements are detailed in Clauses J203 and J2015 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the main requirement in the home.

The NCC, and associated ABCB Standards and support material, can be accessed at [ncc.nathers.gov.au](https://ncc.nathers.gov.au).

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

\* Refer to glossary

Generated on 27 Mar 2025 using BERS Pro v5.2.4 (3.23) for Unit 1, 71 Dutten Street, BANKSTOWN, NSW, 2200

Page 1 of 14

001181247 NatHERS Certificate

T 1 Star Rating as of 27 Mar 2025

## About the ratings

### Thermal performance rating

NatHERS thermal software models the expected heating and cooling energy loads using information about the design, construction, climate and common patterns of household use. The thermal performance rating (shown as a star rating on this Certificate) does not take into account appliances, apart from the airflow impacts from ceiling fans.

### Whole of Home performance rating

NatHERS Whole of Home software uses the heating and cooling energy loads combined with the energy performance of the home's appliances (heating, cooling, hot water, lighting, hot water pumps and onsite renewable energy generation and storage) and models the expected energy "value" of the whole home. The Whole of Home performance rating is shown as a score out of 100 on this Certificate.

## Heating & Cooling Load Limits

### Additional information

In some locations under the NCC NatHERS pathway, separate heating and cooling load limits may apply. Minimum required star ratings in northern parts of Australia may also be affected by the presence or absence of an outdoor living area and/or an outdoor living area ceiling fan. Refer to the ABCB Standard 2022. NatHERS Heating and cooling load limit details for details or contact the relevant local building regulating authority, noting that State and Territory variations may also apply.

### Setting Options:

#### Floor Type:

- CSG - Concrete Slab on Ground
- SF - Suspended Floor (or a mixture of CSG and SF)
- NA - Not Applicable

NCC Climate Zone 1 or 2:

- Yes
- NA - Not Applicable

#### Outdoor Living Area:

- Yes
- NA - Not Applicable

#### Outdoor Living Area Ceiling Fan:

- Yes
- NA - Not Applicable

## Predicted Whole of Home annual impact by appliance

### Energy use

No Whole  
of Home  
performance  
assessment  
conducted for this  
certificate

### Greenhouse gas emissions

No Whole  
of Home  
performance  
assessment  
conducted for this  
certificate

### Cool

No Whole  
of Home  
performance  
assessment  
conducted for this  
certificate


## Predicted onsite renewable energy impact

No Whole of Home performance assessment conducted for this certificate.

\* Refer to glossary.

Generated 27 Mar 2025 using BERS Pro v5.2.4 (3.23) for Unit 1, 71 Dutton Street, BANKSTOWN, NSW, 2200


Page 2 of 14

0811812847 NETHERS Certificate		7.1 Star Rating as of 27 Mar 2025			
<h2>Certificate check</h2> <p>The checklist covers important items impacting the dwelling's ratings. It is recommended that the accuracy of the whole certificate is checked.</p> <p><i>Note:</i> The boxes indicate when and by whom each item should be checked. It is not mandatory to complete this checklist.</p>					
<b>Genuine certificate check</b>		<b>Approved Stage</b>		<b>Construction Stage</b>	
Does this Certificate match the one available at the web address or QR code verification link on the front page?		Approver checked	Consent Authority/ Surveyor checked	Builder checked	Certificate holder/ Surveyor checked
Does the NetherS® certificate number on the NetherS® stamped plans match the number on this Certificate?					
<b>Thermal performance check</b>					
<b>Windows and glazed doors</b>					
Does the window size, opening type and location shown on the NetherS® stamped plans or as installed match what is shown in the Window and glazed door schedule and /or window schedule table on this Certificate?					
Does the installed window meet the substitution tolerances (AFRAC <sup>1</sup> 'Sealed SHGC' and U <sub>1</sub> values) as shown in the 'Window and glazed door type and performance' and /or window type and performance' tables on this Certificate?					
<b>External walls</b>					
Does the external wall bulk insulation (R-value) shown on the NetherS® stamped plans or as installed match what is shown in the External wall type table on this Certificate?					
Does the external wall shade (colour) match what is shown in the 'External wall type' table on this Certificate?					
<b>Floor</b>					
Does the floor insulation (R-value) shown on the NetherS® stamped plans or as installed match what is shown in the 'Floor type' table on this Certificate?					
<b>Ceiling penetrations*</b>					
Does the quality and type of ceiling penetrations* (e.g. downlights, exhaust fans, etc) shown on the NetherS® stamped plans or as installed match what is shown in the 'Ceiling penetrations' table on this Certificate?					
<b>Ceiling</b>					
Does the ceiling insulation (R-value) shown on the NetherS® stamped plans or as installed match what is shown in the 'Ceiling type' table on this Certificate?					
<b>Roof</b>					
Does the external roof shade (colour) on the NetherS® stamped plans or as installed match what is shown in the 'Roof type' table on this Certificate?					
<b>Apartment entrance doors (NCC Class 2 assessments only)</b>					
Does the 'External Door Schedule' show apartment entrance doors? Please note that an 'external door' between the modelled dwelling and a shared space, such as an enclosed corridor or foyer, should not be included in the assessment (because it overstates the possible ventilation) and would invalidate the Certificate.					
<b>Exposure</b>					
Has the appropriate exposure type (terrain) (shown on page 1) been applied? For example, it is unlikely that a ground-floor apartment is 'exposed' or a top floor high-rise apartment is 'protected'.					
<b>Heating and cooling load limits*</b>					
Do the load limits settings (shown on page 1) match what is shown					

\* Refer to glossary

Generated on 27 Mar 2025 using BERS Pro v5.2.4 (3.23) for 1,71 Dutton Street, BANKSTOWN, NSW, 2200


Page 3 of 14

00112612647 Nethers Certificate		7.1 Star Rating as of 27 Mar 2025				
		Approval Stage		Construction Stage		
		Assessor checked	Consent Authority/ Surveyor checked	Builder checked	Surveyor checked	Other
<b>Certificate check</b>						
Continued						
<b>Additional NCC requirements for thermal performance (not included in the Nethers assessment)</b>						
<b>Thermal bridging</b>						
Does the dwelling meet the NCC requirement for thermal bridging?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Insulation installation method</b>						
Has the insulation been installed according to the NCC requirements?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Building sealing</b>						
Does the dwelling meet the NCC requirements for Building Sealing?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Whole of Home performance check (not applicable if a Whole of Home performance assessment is not conducted)</b>						
<b>Appliances</b>						
Does the cooling appliance's type, location and efficiency/performance shown on the Nethers-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the Appliance schedule on this Certificate?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the heating appliance's type, location and efficiency/performance shown on the Nethers-stamped plans or installed, match the location and minimum efficiency/performance requirements shown in the Appliance schedule on this Certificate?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the hot water system type and efficiency/performance shown on the Nethers-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the Appliance schedule on this Certificate?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the pool pump efficiency/performance shown on the Nethers-stamped plans or as installed match the minimum efficiency/performance requirements shown in the Appliance schedule on this Certificate?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the onsite renewable energy system type, orientation and system size or generation capacity shown on the Nethers-stamped plans or installed match the Onsite Renewable Energy schedule on this Certificate?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Additional NCC Requirements for Services (not included in the Nethers assessment)</b>						
Does the lighting meet the artificial lighting requirements specified in the NCC?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the hot water system meet the additional requirements specified in the NCC?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Provisional values check</b>						
Have provisional values* been used in the assessment and, if so, are they noted in Additional notes below?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Other NCC requirements</b>						
Note: This Certificate only covers the energy efficiency requirements in the NCC. Additional requirements that must also be satisfied include, but are not limited to: condensation, structural and fire safety requirements and any state or territory variations to the NCC energy efficiency requirements.						
<b>Additional notes</b>						

\* Refer to glossary

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001812847 NATHERS Certificate		7.1 Star Rating as of 27 Mar 2025						
Room schedule								
Room	Zona Type	Area [m²]	Substitution tolerance ranges					
			SHGC lower limit	SHGC upper limit				
Garage	Garage	70.26						
storage	Daytime	19.08						
storage	Daytime	28.46						
Wip	Living	6.8						
Ki/Liventry	Kitchen/Living	82.76						
Guest Bedroom	Bedroom	12.55						
bath	Unconditioned	6.46						
ldry	Unconditioned	7.11						
master Bedroom	Bedroom	17.77						
eris	Nighttime	6.12						
bath	Unconditioned	7.22						
sitting room	Living	35.85						
Bedroom 1	Bedroom	11.66						
Bedroom 2	Bedroom	11.82						
Bedroom 3	Bedroom	11.82						
Window and glazed door type and performance								
Default windows*								
Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges				
				SHGC lower limit	SHGC upper limit			
ALM-002-03 A	Aluminium B SG High Solar Gain Low-E	5.4	0.58	0.55	0.61			
ALM-006-03 A	Aluminium B DCG Argon low-E	4.1	0.52	0.49	0.55			
ALM-001-03 A	Aluminium A SG High Solar Gain Low-E	5.4	0.49	0.47	0.51			
Custom windows*								
Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges				
				SHGC lower limit	SHGC upper limit			
No Data Available								
* Refer to glossary. Generated on 27 Mar 2025 using BERS Pro v5.2.4 (3.23) for Unit 1, 71 Duton Street, BANKSTOWN, NSW, 2200								

011812947 NATURE'S Certificate T 1 Star Rating as of 27 Mar 2025


## Window and glazed door schedule


Location	Window ID	Window no.	Height [mm]	Width [mm]	Window type	Opening %	Orientation	Window shading device*
K&Llventry	ALM-002-03 A	W5	600	2710	Sliding	45	S	No
K&Llventry	ALM-006-03 A	W6	2700	3850	Sliding	75	W	No
K&Llventry	ALM-006-03 A	W7	2700	3850	Sliding	75	W	No
K&Llventry	ALM-006-03 A	W8	2700	1100	Fixed	00	W	No
K&Llventry	ALM-001-03 A	n/a	2700	1100	Casement	90	E	No
K&Llventry	ALM-001-03 A	W2	2400	850	Awning	45	E	No
K&Llventry	ALM-001-03 A	W3	2400	850	Awning	45	E	No
K&Llventry	ALM-001-03 A	W4	2700	850	Awning	45	E	No
Guest Bedroom	ALM-001-03 A	W26	2400	2410	Awning	45	E	No
bath	ALM-001-03 A	W12	2700	610	Awning	45	N	No
bath	ALM-002-03 A	W9	2700	610	Fixed	00	W	Yes
ltry	ALM-001-03 A	W10	2700	850	Casement	90	W	Yes
ltry	ALM-002-03 A	W11	2700	610	Fixed	00	N	No
master Bedroom	ALM-001-03 A	W16	2500	2410	Awning	45	E	No
ens	ALM-001-03 A	W13	2500	850	Awning	45	E	No
bath	ALM-001-03 A	W14	2500	850	Awning	45	E	No
sitting room	ALM-006-03 A	W18	2500	1100	Fixed	00	W	No
sitting room	ALM-006-03 A	W19	2500	1100	Fixed	00	W	No
sitting room	ALM-006-03 A	W21	2500	1100	Fixed	00	W	No
sitting room	ALM-002-03 A	W15	2500	1250	Fixed	00	E	No
Bedroom 1	ALM-002-03 A	W17	1000	2650	Sliding	45	S	No
Bedroom 2	ALM-001-03 A	W22	2400	610	Awning	45	N	No
Bedroom 2	ALM-001-03 A	W23	2400	610	Awning	45	N	No
Bedroom 3	ALM-001-03 A	W24	2400	610	Awning	45	N	No
Bedroom 3	ALM-001-03 A	W25	2400	610	Awning	45	N	No
Bedroom 3	ALM-002-03 A	W27	2500	2410	Sliding	45	E	No

\* Refer to glossary

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001812412 NATHERS Certificate		7.1 Star Rating as of 27 Mar 2025														
<b>Roof window* type and performance value</b>																
Default roof windows*																
Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges												
				SHGC lower limit	SHGC upper limit											
No Data Available																
Custom roof windows*																
Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges												
				SHGC lower limit	SHGC upper limit											
No Data Available																
<b>Roof window* schedule</b>																
Location	Window ID	Window no.	Opening %	Height [mm]	Width [mm]	Orientation	Outdoor shade	Indoor shade								
No Data Available																
<b> Skylight* type and performance</b>																
Skylight ID	Skylight description					Skylight shaft reflectance										
No Data Available																
<b> Skylight* schedule</b>																
Location	Skylight ID	Skylight No.	Skylight shaft length [mm]	Area [m²]	Orientation	Outdoor shade	Diffuser									
No Data Available																
<b>External door schedule</b>																
Location	Height [mm]	Width [mm]	Opening %	Orientation												
Garage	2400	5200	90	E												
No Data Available																
<b>External wall type</b>																
Wall ID	Wall type	Solar absorbance (colour)	Wall shade Bulk insulation (R-value)	Reflective wall wrap*												
EW-1	Tilt Up Concrete, Lined Timber Slud Frame	0.50	Bulk Insulation, Air Gap R1.5	No												
EW-2	Timber Slud Frame Brick Veneur	0.50	Anti-glare foil with bulk no gap R2.7	No												
No Data Available																
* Refer to glossary Generated on 27 Mar 2025 using BERS Pro v5.2.4 (3.23) for Unit 1, 71 Dutton Street, BANKSTOWN, NSW, 2200																
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<div> <div> 06118112647 NATHERS Certificate </div> <div> 7.1 Star Rating as of 27 Mar 2025 </div> </div>		<div> <div>  </div> </div>				
<div> <div>External wall schedule</div> </div>						
Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading feature* maximum projection [mm]	Vertical shading feature [yes/no]
Garage	EW-1	2400	9145	W	0	No
Garage	EW-1	2400	3795	E	0	No
Garage	EW-1	2400	5350	E	0	No
Garage	EW-1	2400	7700	S	0	No
storage	EW-1	2400	1545	W	0	No
storage	EW-1	2400	604	NW	0	No
storage	EW-1	2400	604	N	0	No
storage	EW-1	2400	400	N	0	No
storage	EW-1	2400	2345	E	0	No
storage	EW-1	2400	800	S	0	No
storage	EW-1	2400	3645	W	0	No
storage	EW-1	2400	7300	N	0	No
storage	EW-1	2400	3645	E	0	No
Wip	EW-2	2700	2595	S	0	No
Wip	EW-2	2700	3095	E	0	No
KiBL/Liventry	EW-2	2700	5095	S	0	No
KiBL/Liventry	EW-2	2700	10300	W	3100	No
KiBL/Liventry	EW-2	2701	400	W	0	No
KiBL/Liventry	EW-2	2700	604	NW	0	No
KiBL/Liventry	EW-2	2700	604	N	0	No
KiBL/Liventry	EW-2	2700	400	N	0	No
KiBL/Liventry	EW-2	2700	2395	E	790	No
KiBL/Liventry	EW-2	2700	350	S	1700	No
KiBL/Liventry	EW-2	2700	361	SE	1921	No
KiBL/Liventry	EW-2	2700	335	SE	1649	No
KiBL/Liventry	EW-2	2702	1300	E	1550	No
KiBL/Liventry	EW-2	2700	4195	E	0	No
Guest Bedroom	EW-2	2700	3445	N	0	No
Guest Bedroom	EW-2	2700	3695	E	750	No



# NATHERS COMMITMENTS

001182047 NETHERS Certificate		7.1 Star Rating as of 27 Mar 2025				
Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading feature/ maximum projection [mm]	Vertical shading feature [yes/no]
bath	EW-2	2700	1840	N	0	No
ktry	EW-2	2700	3695	W	0	No
ktry	EW-2	2700	1995	N	0	No
master Bedroom	EW-2	2500	4045	S	0	No
master Bedroom	EW-2	2500	4445	E	0	No
ens	EW-2	2500	1840	E	0	No
bath	EW-2	2500	1940	E	1550	No
sitting room	EW-2	2500	6495	W	0	No
sitting room	EW-2	2500	804	NW	0	No
sitting room	EW-2	2500	850	N	12	No
sitting room	EW-2	2500	350	N	0	No
sitting room	EW-2	2500	2290	E	1550	No
Bedroom 1	EW-2	2500	3645	S	0	No
Bedroom 1	EW-2	2500	3245	W	0	No
Bedroom 2	EW-2	2500	3695	W	100	No
Bedroom 2	EW-2	2500	3245	N	100	No
Bedroom 3	EW-2	2500	3245	N	100	No
Bedroom 3	EW-2	2500	3695	E	1550	No

### Internal wall type

Wall ID	Wall type	Area [m <sup>2</sup> ]	Bulk insulation
IW-001	Single Skin Brick	17.52	No insulation
IW-002	Timber Stud Frame, Direct Fix Plasterboard	109.63	No insulation
IW-003	Timber Stud Frame, Direct Fix Plasterboard	21.50	Bulk Insulation, Air Gap R2.7

### Floor type

Location	Construction	Area [m <sup>2</sup> ]	Sub-floor ventilation	Added insulation (R-value)	Covering
Garage	Concrete Slab on Ground 200mm	70.26	None	Bulk Insulation, Gap to Floor R2.5	Bare

\* Refer to glossary  
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0011872047 NaHERS Certificate		7.1 Star Rating as of 27 Mar 2025				
Location	Construction	Area [m <sup>2</sup> ]	Sub-ventilation	Added Insulation [R-value]	Covering	
storage	Concrete Slab on Ground 200mm	19.08	None	Bulk Insulation, Gap to Floor R2.5	Cork Tiles or Parquetty 8mm	
storage	Concrete Slab on Ground 200mm	26.46	None	Bulk Insulation, Gap to Floor R2.5	Cork Tiles or Parquetty 8mm	
Wip / Garage	Concrete Timber Framed Above Plasterboard 100mm	6.80	No	Insulation	Ceramic Tiles 8mm	
Ki/Liv/entry / Garage	Concrete Timber Framed Above Plasterboard 100mm	58.03	No	Insulation	Ceramic Tiles 8mm	
Ki/Liv/entry / storage	Concrete Timber Framed Above Plasterboard 100mm	15.08	No	Insulation	Ceramic Tiles 8mm	
Guest Bedroom / storage	Concrete Timber Framed Above Plasterboard 100mm	12.55	No	Insulation	Ceramic Tiles 8mm	
bath / storage	Concrete Timber Framed Above Plasterboard 100mm	6.46	No	Insulation	Ceramic Tiles 8mm	
ldry / storage	Concrete Timber Framed Above Plasterboard 100mm	7.11	No	Insulation	Ceramic Tiles 8mm	
master Bedroom / Wip	Timber Framed Timber Above Plasterboard 10mm	4.24	Bulk Insulation R4	R4	Cork Tiles or Parquetty 8mm	
master Bedroom / Ki/Liv/entry	Timber Framed Timber Above Plasterboard 10mm	13.26	Bulk Insulation R4	R4	Cork Tiles or Parquetty 8mm	
ens / Ki/Liv/entry	Timber Framed Timber Above Plasterboard 10mm	6.12	Bulk Insulation R4	R4	Ceramic Tiles 8mm	
bath / Ki/Liv/entry	Timber Framed Timber Above Plasterboard 10mm	7.22	Bulk Insulation R4	R4	Ceramic Tiles 8mm	
sitting room / Ki/Liv/entry	Timber Framed Timber Above Plasterboard 10mm	26.67	Bulk Insulation R4	R4	Ceramic Tiles 8mm	
Bedroom 1 / Ki/Liv/entry	Timber Framed Timber Above Plasterboard 10mm	11.66	Bulk Insulation R4	R4	Cork Tiles or Parquetty 8mm	
Bedroom 2 / bath	Timber Framed Timber Above Plasterboard 10mm	4.41	Bulk Insulation R4	R4	Cork Tiles or Parquetty 8mm	
Bedroom 2 / ldry	Timber Framed Timber Above Plasterboard 10mm	7.19	Bulk Insulation R4	R4	Cork Tiles or Parquetty 8mm	
Bedroom 3 / Guest Bedroom	Timber Framed Timber Above Plasterboard 10mm	9.59	Bulk Insulation R4	R4	Cork Tiles or Parquetty 8mm	

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0011812047 NATHERS Certificate

7.1 Star Rating as of 27 Mar 2025



Location	Construction	Area [m²]	Sub-floor ventilation	Added insulation R-value	Covering	
Bedroom 3 / bath	Timber Framed Timber Above Plasterboard 19mm	2.01		Bulk Insulation R4	Cork Tiles or Parquetry 8mm	

Ceiling type

Location	Construction material/type	Sub-insulation R-value (may include edge batt values)	Reflective wrap <sup>1</sup> [Yes/No]	
Garage	Concrete, Plasterboard with Timber Frame	Bulk Insulation R2.5		
Garage	Concrete Timber Framed Above Plasterboard	No Insulation		
storage	Concrete Timber Framed Above Plasterboard	No Insulation		
storage	Concrete Timber Framed Above Plasterboard	No Insulation		
Wip	Plasterboard on Timber	Bulk Insulation R7		
Wip	Timber Framed Timber Above Plasterboard	Bulk Insulation R4		
Ki&L/vivinty	Plasterboard on Timber	Bulk Insulation R7		
Ki&L/vivinty	Timber Framed Timber Above Plasterboard	Bulk Insulation R4		
Guest Bedroom	Concrete, Plasterboard with Timber Frame	Bulk Insulation R2.5		
Guest Bedroom	Timber Framed Timber Above Plasterboard	Bulk Insulation R4		
bath	Timber Framed Timber Above Plasterboard	Bulk Insulation R4		
ldry	Timber Framed Timber Above Plasterboard	Bulk Insulation R4		
master Bedroom	Plasterboard on Timber	Bulk Insulation R7		
ens	Plasterboard on Timber	Bulk Insulation R7		
bath	Plasterboard on Timber	Bulk Insulation R7		
sitting room	Plasterboard on Timber	Bulk Insulation R7		
Bedroom 1	Plasterboard on Timber	Bulk Insulation R7		
Bedroom 2	Plasterboard on Timber	Bulk Insulation R7		
Bedroom 3	Plasterboard on Timber	Bulk Insulation R7		

Ceiling penetrations<sup>2</sup>

Location	Quantity	Type	Diameter [mm]	Sealed/unsealed	
Wip	1	Downlights - LED	0	Sealed	
Ki&L/vivinty	16	Downlights - LED	0	Sealed	
Ki&L/vivinty	1	Exhaust Fans	350	Sealed	
Guest Bedroom	2	Downlights - LED	0	Sealed	

1 Refer to glossary.


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0011812047 NATHERS Certificate

7.1 Star Rating as of 27 Mar 2025



Location	Quantity	Type	Diameter (mm)	Sealed/unsealed
bath	1	Exhaust Fans	350	Sealed
ldry	1	Exhaust Fans	350	Sealed
master Bedroom	3	Downlights - LED	0	Sealed
ens	1	Exhaust Fans	350	Sealed
bath	1	Exhaust Fans	350	Sealed
sitting room	7	Downlights - LED	0	Sealed
Bedroom 1	2	Downlights - LED	0	Sealed
Bedroom 2	2	Downlights - LED	0	Sealed
Bedroom 3	2	Downlights - LED	0	Sealed

Ceiling fans

Location	Quantity	Diameter (mm)
Kitchen/entry	1	1400
Guest Bedroom	1	1400
master Bedroom	1	1400
sitting room	2	1400
Bedroom 1	1	1400
Bedroom 2	1	1400
Bedroom 3	1	1400

Roof type

Construction	Added insulation (R-value)	Solar absorbance	Roof shade (colour)
Waterproofing Membrane	No Insulation, Only an Air Gap	0.50	Medium
Corrugated Iron Timber Frame	Bulk, Reflective Side Down, No Air Gap Above R1.3	0.30	Light
Waterproofing Membrane	No Insulation, Only an Air Gap	0.30	Light

Thermal bridging schedule for steel frame elements

Building element	Steel section dimensions (height x width, mm)	Frame spacing [mm]	Steel thickness [BMT,mm]	Thermal break [R-value]
No Data Available				

Appliance schedule

(not applicable if a Whole of Home performance assessment is not conducted for this certificate)

\* Refer to glossary:  
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09/11/2047 NATURE'S CERTIFICATES						
7.1 Star Rating as of 27 Mar 2025						
Note: A flat assumption of 5W/m <sup>2</sup> is used for lighting, therefore lighting is not included in the appliance schedule.						
<i>Cooling system</i>						
Appliance/ system type	Location	Fuel type	Minimum efficiency/performance		Recommended capacity	
No Data Available						
<i>Heating system</i>						
Appliance/ system type	Location	Fuel type	Minimum efficiency/performance		Recommended capacity	
No Data Available						
<i>Hot water system</i>						
Appliance/ system type	Fuel type	Hot Water CER Zone	Minimum efficiency /STC	Zone 3 STC	Zone 3 Substitution tolerance ranges <small>(lower limit)      upper limit)</small>	Assessed daily load [litres]
No Data Available						
<i>Pool/spa equipment</i>						
Appliance/ system type	Fuel type		Minimum efficiency/performance		Recommended capacity	
No Data Available						
<i>Onsite Renewable Energy Schedule</i>						
System Type	Orientation			System Size Or Generation Capacity		
No Data Available						
<i>Battery Schedule</i>						
System Type	Size (Battery Storage Capacity)					
No Data Available						

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[illegible]

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## NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) & AUSTRALIAN STANDARDS

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A	14.04.2025	ISSUED FOR DEVELOPMENT APPLICATION
<b>ISSUE</b>	<b>DATE</b>	<b>DESCRIPTION</b>



## DETACHED DUAL OCCUPANCY

71 DUTTON STREET  
BANKSTOWN NSW 2200

DESIGN NIKOLA CVETKOVSKI  
DRAFTED ##

JOE SLEIMAN

## DRAWING

## NATHERS COMMITMENTS DWELLING

1  
SCALE  
ISSUE A

/ A3

**DWG No.** 24324 - 943

**NOT FOR CONSTRUCTION**







# NATHERS COMMITMENTS

001182062 NatHERS Certificate		7.1 Star Rating as of 27 Mar 2025			
Location	Construction	Area [m²]	Sub-floor ventilation	Added Insulation [R-value]	Covering
Kitchen/Living	Concrete Slab on Ground 150mm	51.18	None	Bulk Insulation, Gap to Floor R2.5	Ceramic Tiles 8mm
Idry	Concrete Slab on Ground 150mm	5.49	None	Bulk Insulation, Gap to Floor R2.5	Ceramic Tiles 8mm
wip	Concrete Slab on Ground 150mm	6.42	None	Bulk Insulation, Gap to Floor R2.5	Ceramic Tiles 8mm
entry	Concrete Slab on Ground 150mm	18.80	None	Bulk Insulation, Gap to Floor R2.5	Ceramic Tiles 8mm
bath	Concrete Slab on Ground 150mm	5.40	None	Bulk Insulation, Gap to Floor R2.5	Ceramic Tiles 8mm
Guest Bedroom	Concrete Slab on Ground 150mm	11.84	None	Bulk Insulation, Gap to Floor R2.5	Ceramic Tiles 8mm
Master Bedroom / Kitchen/Living	Timber Framed Timber Above Plasterboard 19mm	16.16		Bulk Insulation R4	Cork Tiles or Parquetry 8mm
w/ / Kitchen/Living	Timber Framed Timber Above Plasterboard 19mm	7.90		Bulk Insulation R4	Cork Tiles or Parquetry 8mm
w/ / wip	Timber Framed Timber Above Plasterboard 19mm	0.19		Bulk Insulation R4	Cork Tiles or Parquetry 8mm
ens / Kitchen/Living	Timber Framed Timber Above Plasterboard 19mm	5.57		Bulk Insulation R4	Ceramic Tiles 8mm
ens / wip	Timber Framed Timber Above Plasterboard 19mm	1.57		Bulk Insulation R4	Ceramic Tiles 8mm
Bedroom 1 / Garage	Timber Framed Timber Above Plasterboard 19mm	7.72		No Insulation	Cork Tiles or Parquetry 8mm
Bedroom 1 / Kitchen/Living	Timber Framed Timber Above Plasterboard 19mm	5.10		Bulk Insulation R4	Cork Tiles or Parquetry 8mm
Bedroom 2 / Garage	Timber Framed Timber Above Plasterboard 19mm	13.08		No Insulation	Cork Tiles or Parquetry 8mm
bath / Garage	Timber Framed Timber Above Plasterboard 19mm	5.69		No Insulation	Ceramic Tiles 8mm

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0011812062 NUTRIERS Certificate	
7.1 Star Rating as of 27 Mar 2025	
Battery Schedule	
System Type	Size (Battery Storage Capacity)
No Data Available	

Location	Construction	Area [m <sup>2</sup> ]	Sub-floor ventilation	Added insulation [R-value]	Covering
bath / entry	Timber Framed Timber Above Plasterboard 19mm	1.23	No Insulation		Ceramic Tiles 8mm
Bedroom 3 / entry	Timber Framed Timber Above Plasterboard 19mm	1.24	No Insulation		Cork Tiles or Parquetry 8mm
Bedroom 3 / bath	Timber Framed Timber Above Plasterboard 19mm	5.64	No Insulation		Cork Tiles or Parquetry 8mm
Bedroom 3 / Guest Bedroom	Timber Framed Timber Above Plasterboard 19mm	5.06	No Insulation		Cork Tiles or Parquetry 8mm
Sitting room 3 / Garage	Timber Framed Timber Above Plasterboard 19mm	4.93	No Insulation		Cork Tiles or Parquetry 8mm
Sitting room 3 / Kitchen/Living	Timber Framed Timber Above Plasterboard 19mm	0.00	Bulk Insulation R4		Cork Tiles or Parquetry 8mm
Sitting room 3 / entry	Timber Framed Timber Above Plasterboard 19mm	4.23	No Insulation		Cork Tiles or Parquetry 8mm

### Ceiling type

Location	Construction material/type	Bulk insulation R-value (may include edge batt values)	Reflective wrap <sup>1</sup> [yes/no]
Garage	Timber Framed Timber Above Plasterboard	No Insulation	
Kitchen/Living	Plasterboard on Timber	Bulk Insulation R7	
Kitchen/Living	Timber Framed Timber Above Plasterboard	Bulk Insulation R4	
ldry	Plasterboard on Timber	Bulk Insulation R7	
wip	Plasterboard on Timber	Bulk Insulation R7	
wip	Timber Framed Timber Above Plasterboard	Bulk Insulation R4	
entry	Concrete, Plasterboard with Timber Frame	Bulk Insulation R2.5	
entry	Timber Framed Timber Above Plasterboard	No Insulation	
bath	Timber Framed Timber Above Plasterboard	No Insulation	
Guest Bedroom	Concrete, Plasterboard with Timber Frame	Bulk Insulation R2.5	
Guest Bedroom	Timber Framed Timber Above Plasterboard	No Insulation	
Master Bedroom	Plasterboard on Timber	Bulk Insulation R7	
wir	Plasterboard on Timber	Bulk Insulation R7	
ens	Plasterboard on Timber	Bulk Insulation R7	
Bedroom 1	Plasterboard on Timber	Bulk Insulation R7	
Bedroom 2	Plasterboard on Timber	Bulk Insulation R7	
bath	Plasterboard on Timber	Bulk Insulation R7	
Bedroom 3	Plasterboard on Timber	Bulk Insulation R7	


<sup>1</sup> Refer to glossary  
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[illegible]

0011812062 NATHERS Certificate

7.1 Star Rating as of 27 Mar 2025



Location	Construction material/type	Bulk insulation R-value (may include edge bulk values)		Reflective wrap* [yes/no]
Sitting room 3	Plasterboard on Timber	Bulk Insulation R7		

Ceiling penetrations\*

Location	Quantity	Type	Diameter (mm)	Sealed/unsealed
Kitchen/Living	9	Downlights - LED	0	Sealed
Kitchen/Living	1	Exhaust Fans	350	Sealed
Idry	1	Exhaust Fans	350	Sealed
entry	4	Downlights - LED	0	Sealed
bath	1	Exhaust Fans	350	Sealed
Guest Bedroom	2	Downlights - LED	0	Sealed
Master Bedroom	3	Downlights - LED	0	Sealed
ens	1	Exhaust Fans	350	Sealed
Bedroom 1	2	Downlights - LED	0	Sealed
Bedroom 2	2	Downlights - LED	0	Sealed
bath	1	Exhaust Fans	350	Sealed
Bedroom 3	2	Downlights - LED	0	Sealed
Sitting room 3	7	Downlights - LED	0	Sealed

Ceiling fans

Location	Quantity	Diameter (mm)
Bedroom 1	1	1400
Bedroom 2	1	1400
Bedroom 3	1	1400
Sitting room 3	2	1400

Roof type

Construction	Added insulation [R-value]	Solar absorbance	Roof shade (colour)
Corrugated Iron Timber Frame	Bulk, Reflective Side Down, No Air Gap Above R1.3	0.30	Light
Waterproofing Membrane	No Insulation, Only an Air Gap	0.30	Light

\* Refer to glossary


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001181262

NathHERS Certificate

7.1 Star Rating as of 27 Mar 2025



### Thermal bridging schedule for steel frame elements

Building element	Steel section dimensions (height x width, mm)	Frame spacing [mm]	Steel thickness [BMT,mm]	Thermal break [R-value]
No Data Available				

### Appliance schedule

(not applicable if a Whole of Home performance assessment is not conducted for this certificate)

Note: a flat assumption of 5W/m<sup>2</sup> is used for lighting, therefore lighting is not included in the appliance schedule.

Appliance/ system type	Location	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Data Available				

### Heating system

Appliance/ system type	Location	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Data Available				

### Hot water system

Appliance/ system type	Fuel type	Hot Water CER Zone	Minimum efficiency /BTC	Zone 3 STC	Zone 3 Substitution tolerance ranges	Assessed daily load [litres]
					lower limit    upper limit	
No Data Available						

### Poolspa equipment

Appliance/ system type	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Data Available			

### Onsite Renewable Energy Schedule

System Type	Orientation	System Size Or Generation Capacity
No Data Available		

\* Refer to glossary

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## DETACHED DUAL OCCUPANCY

71 DUTTON STREET  
BANKSTOWN NSW 2200

## DRAWING

## NATHERS COMMITMENTS DWELLING

2

SCALE  
ISSUE A

/ A3

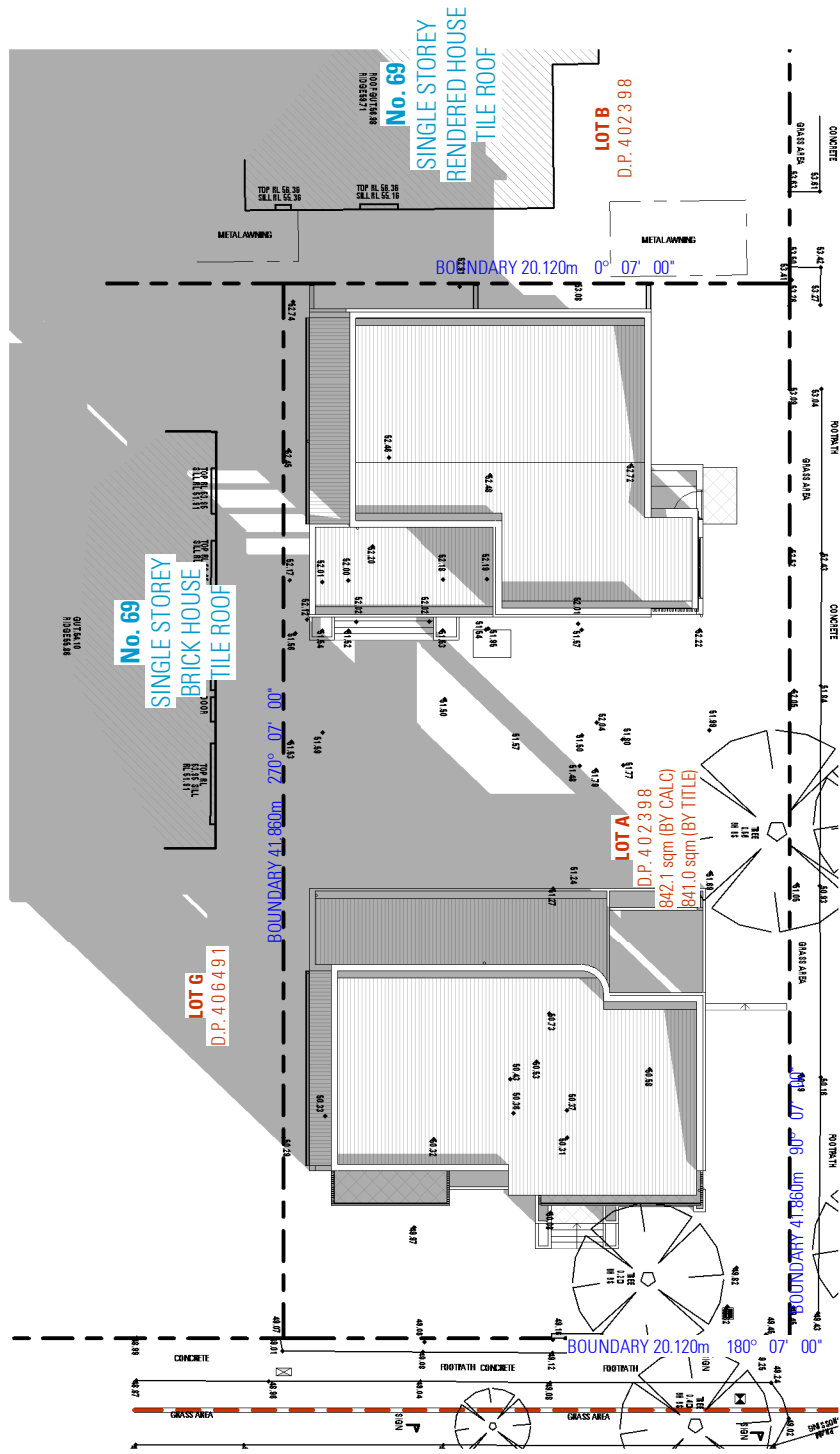
**D W G No. 24324 - 945**

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NIKOLA CVETKOVSKI

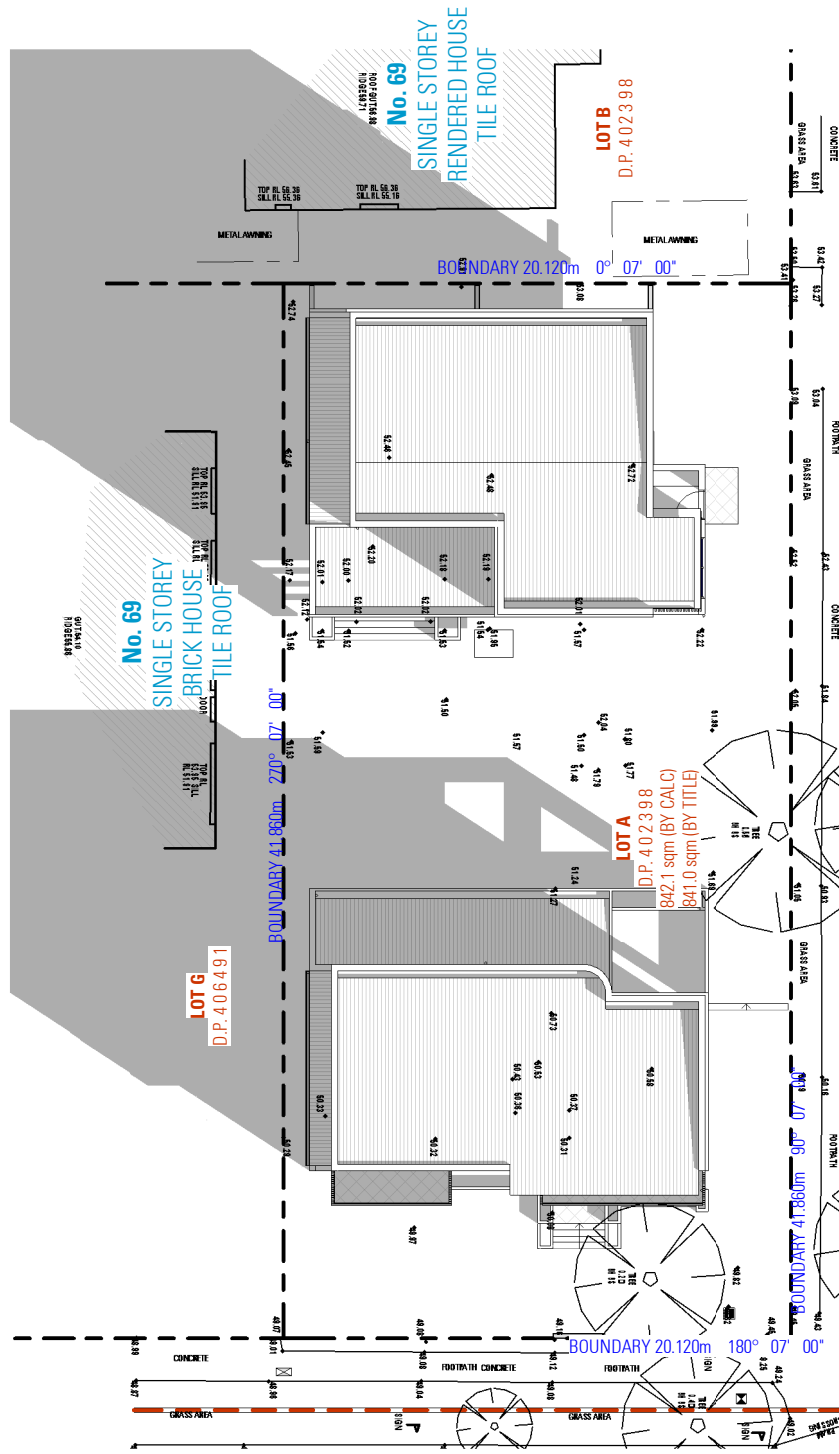
JOE SLEIMAN





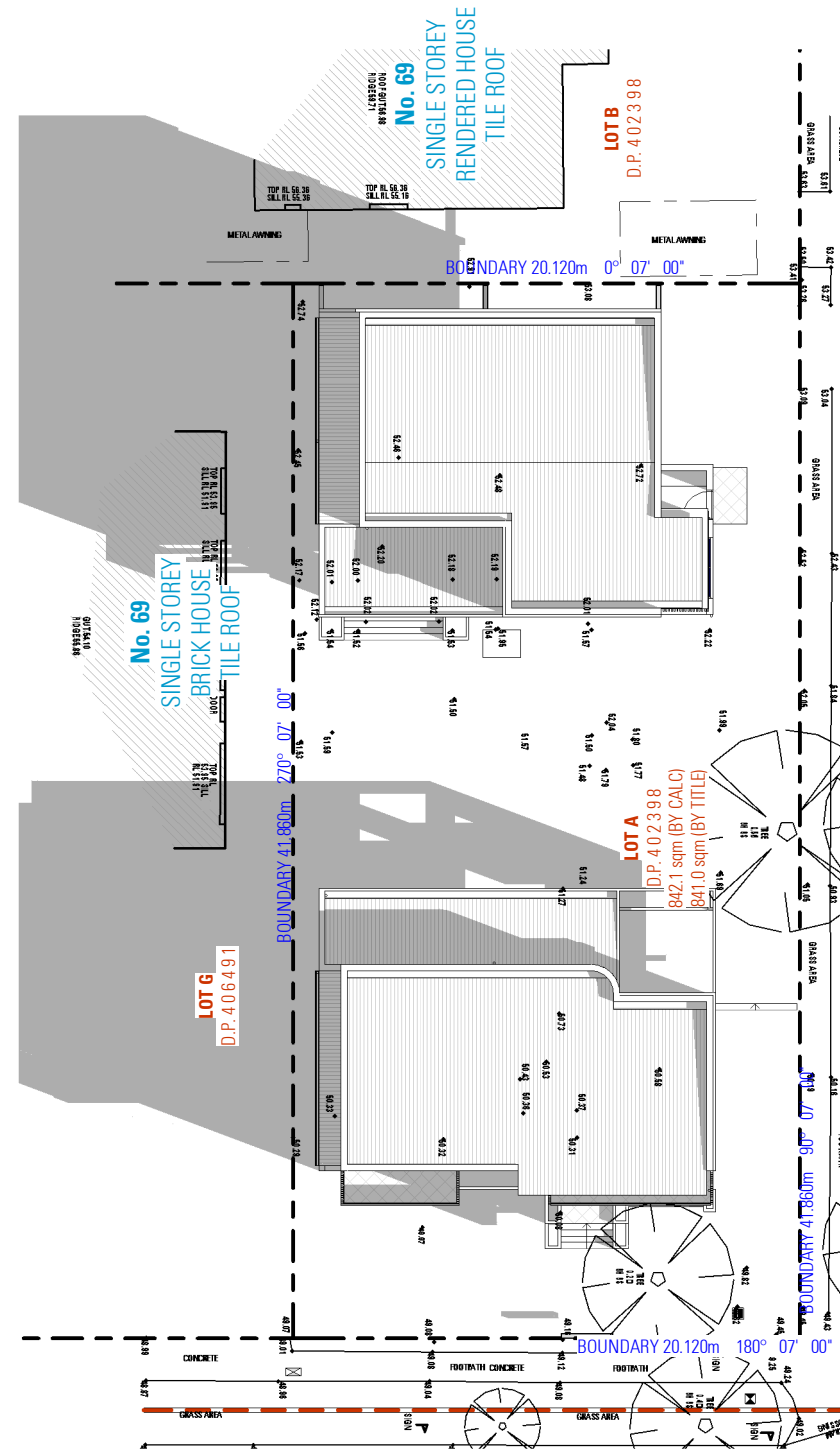
DUTTON STREET

SHADOW DIAGRAM 8AM



DUTTON STREET

SHADOW DIAGRAM 9AM



DUTTON STREET

SHADOW DIAGRAM 10AM

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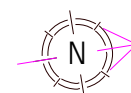
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BANKSTOWN NSW 2200

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**DRAFTED** KATERINA NIKOVSKA

JOE SLEIMAN

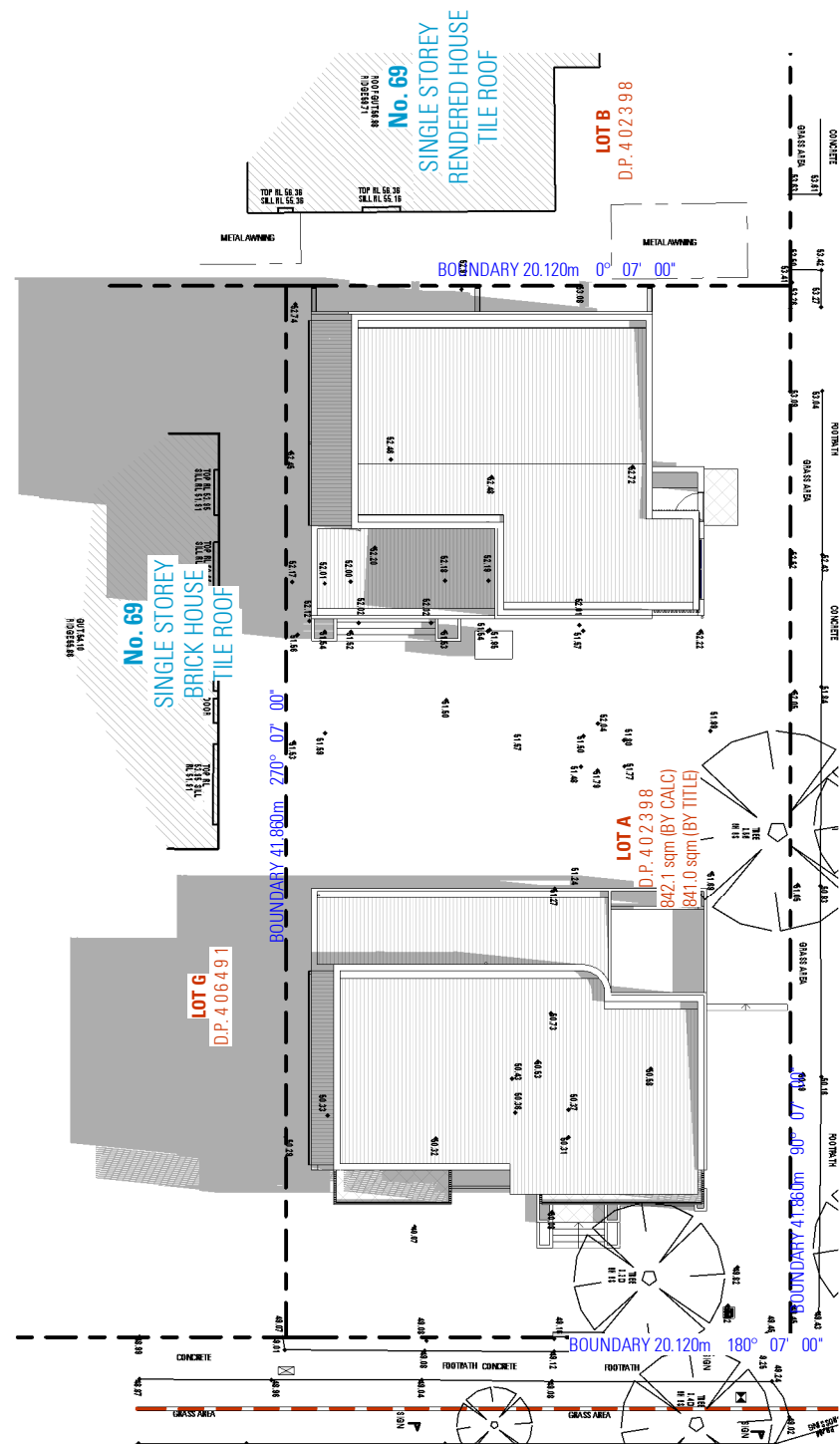
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SHADOW DIAGRAMS - 21st JUNE

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**ISSUE** A

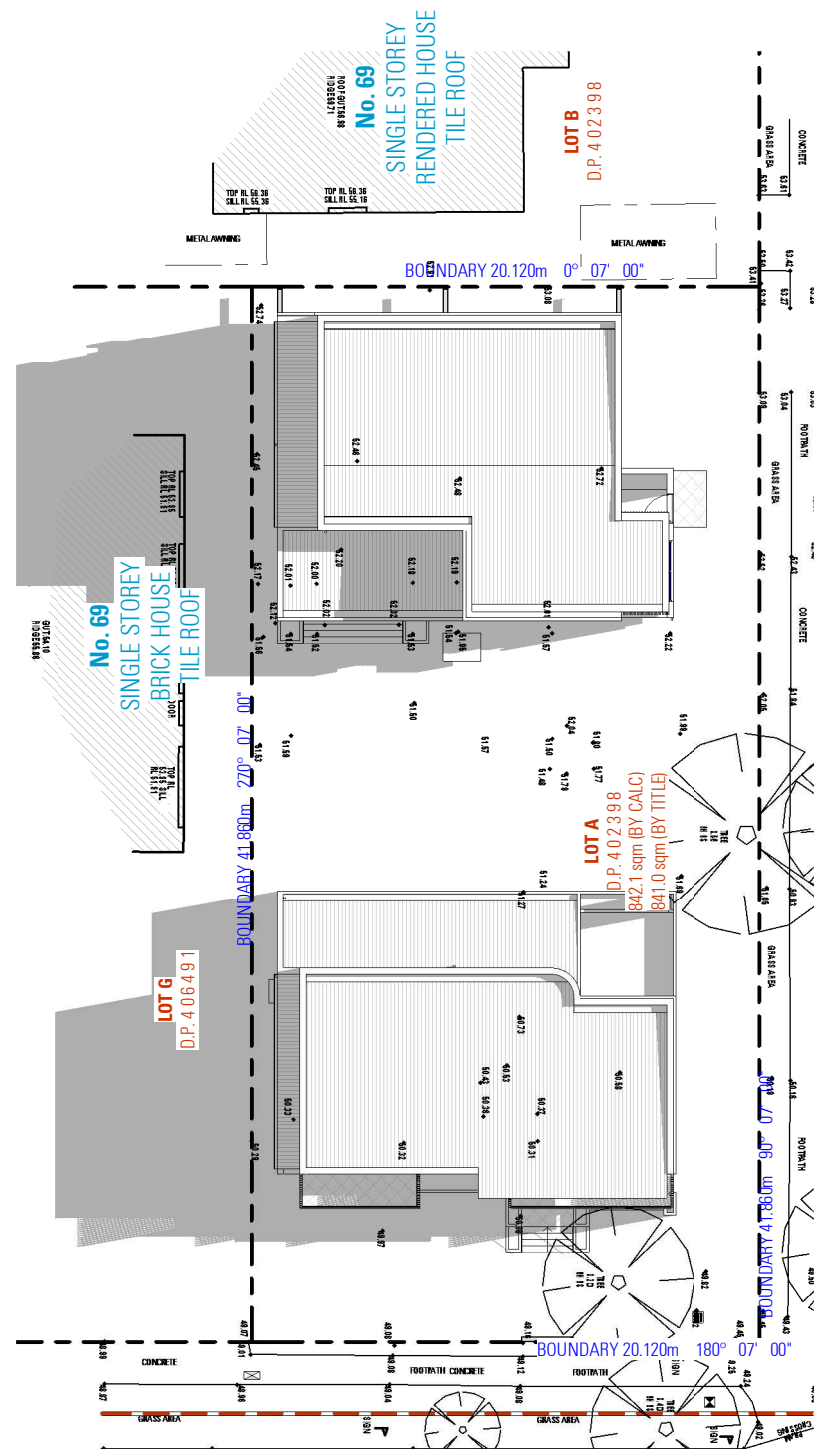
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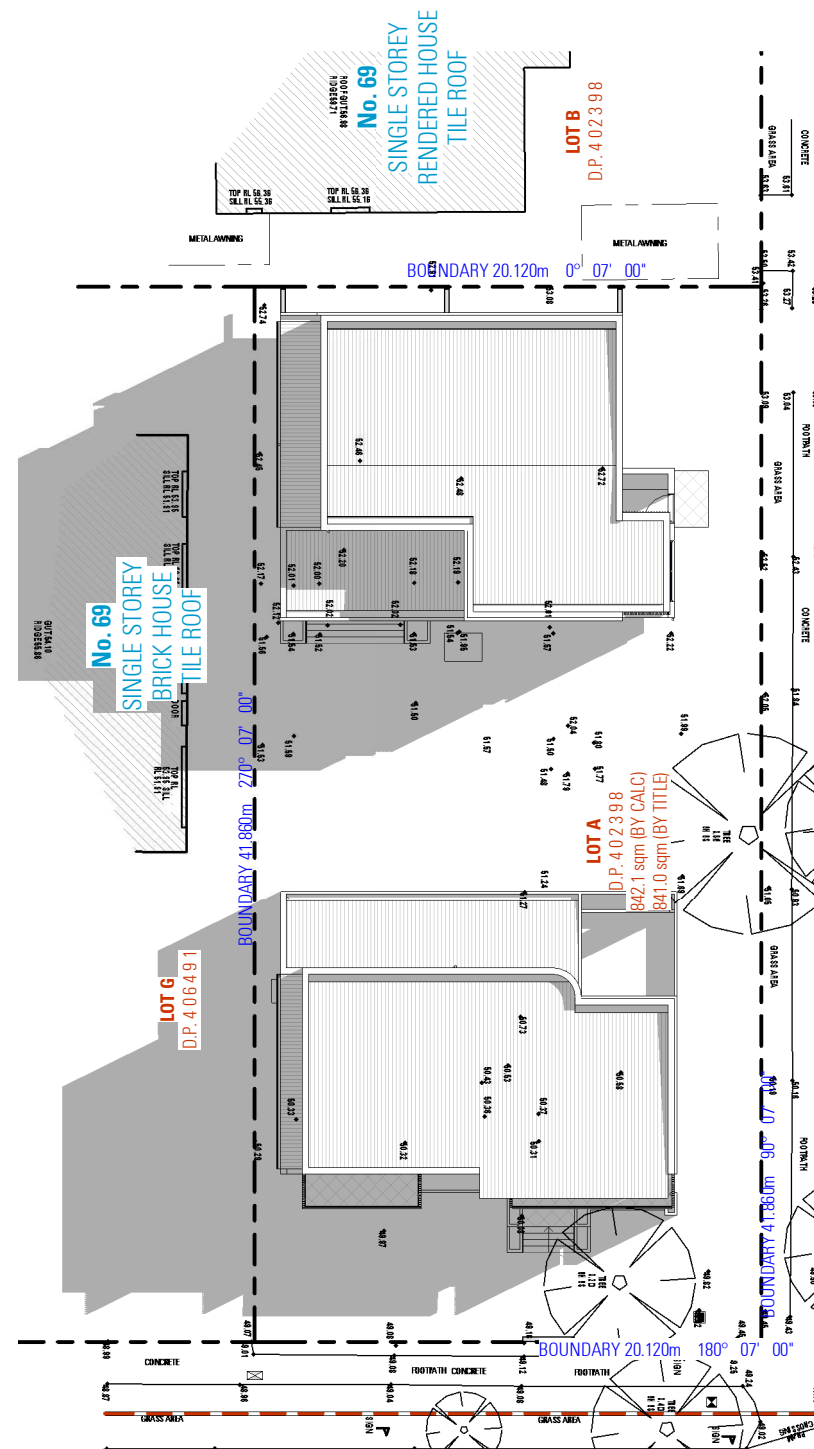
DUTTON STREET

SHADOW DIAGRAM 11AM



DUTTON STREET

SHADOW DIAGRAM 12PM



DUTTON STREET

SHADOW DIAGRAM 1PM

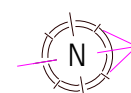
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KATERINA NIKOVSKA

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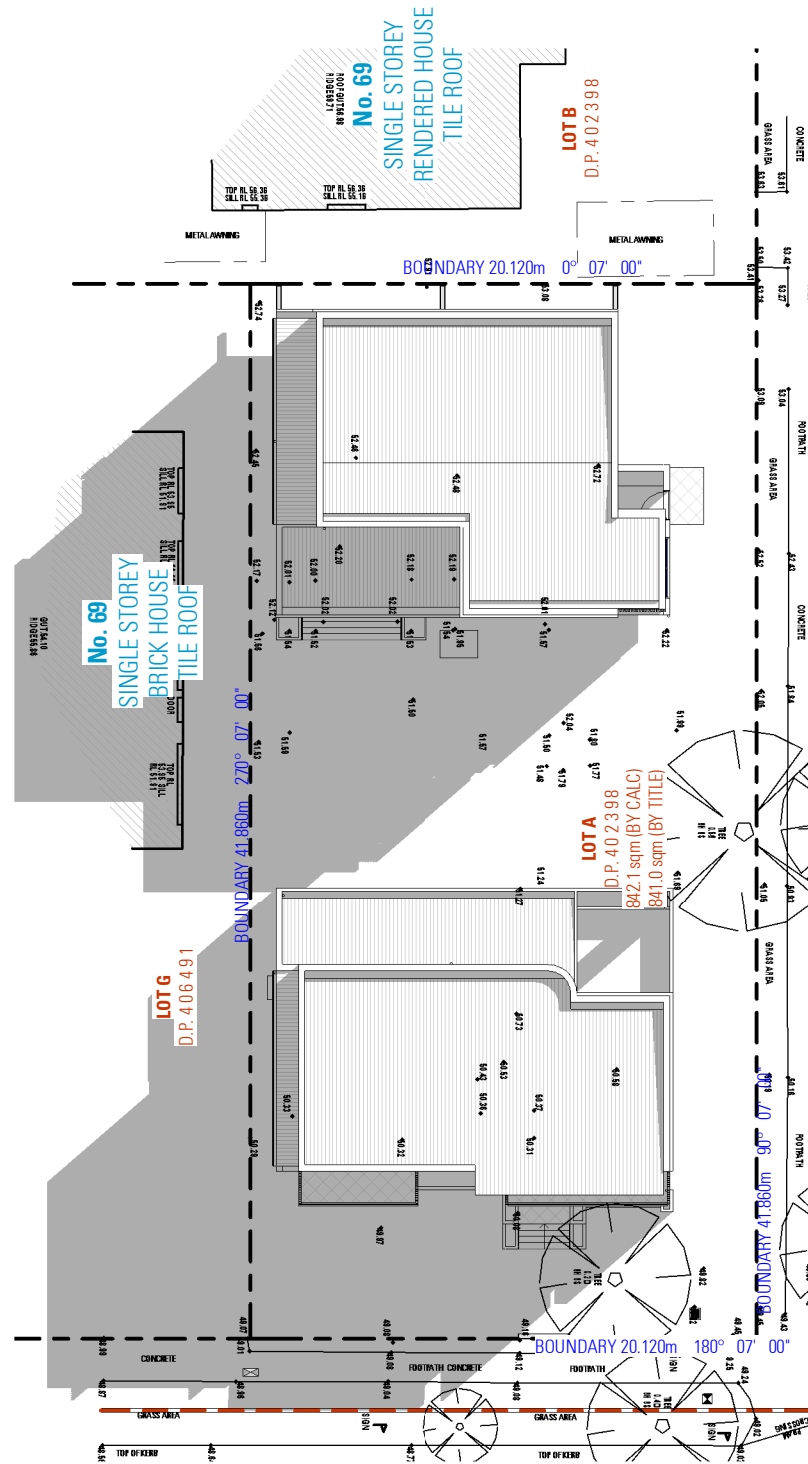
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SCALE  
ISSUE  
1 : 300 / A3  
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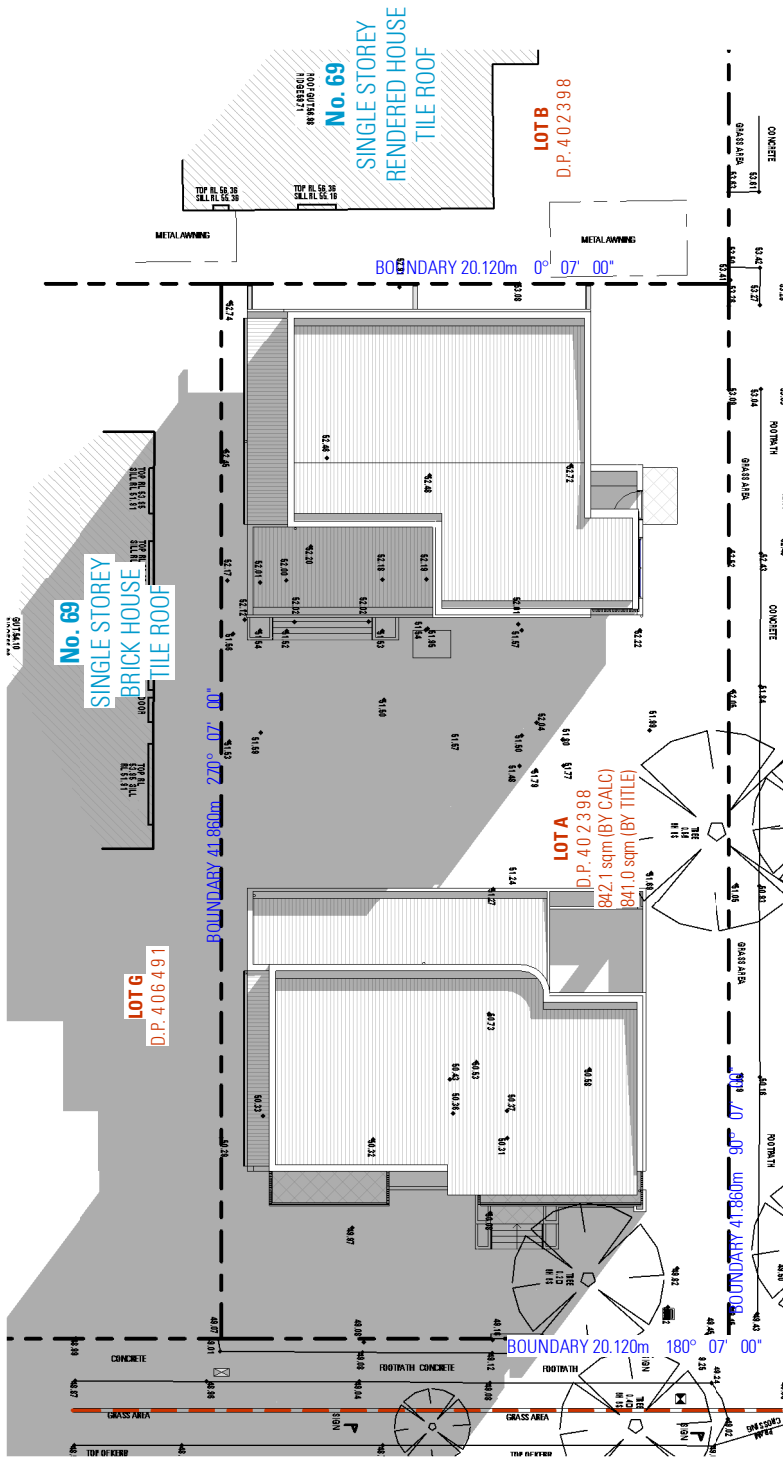
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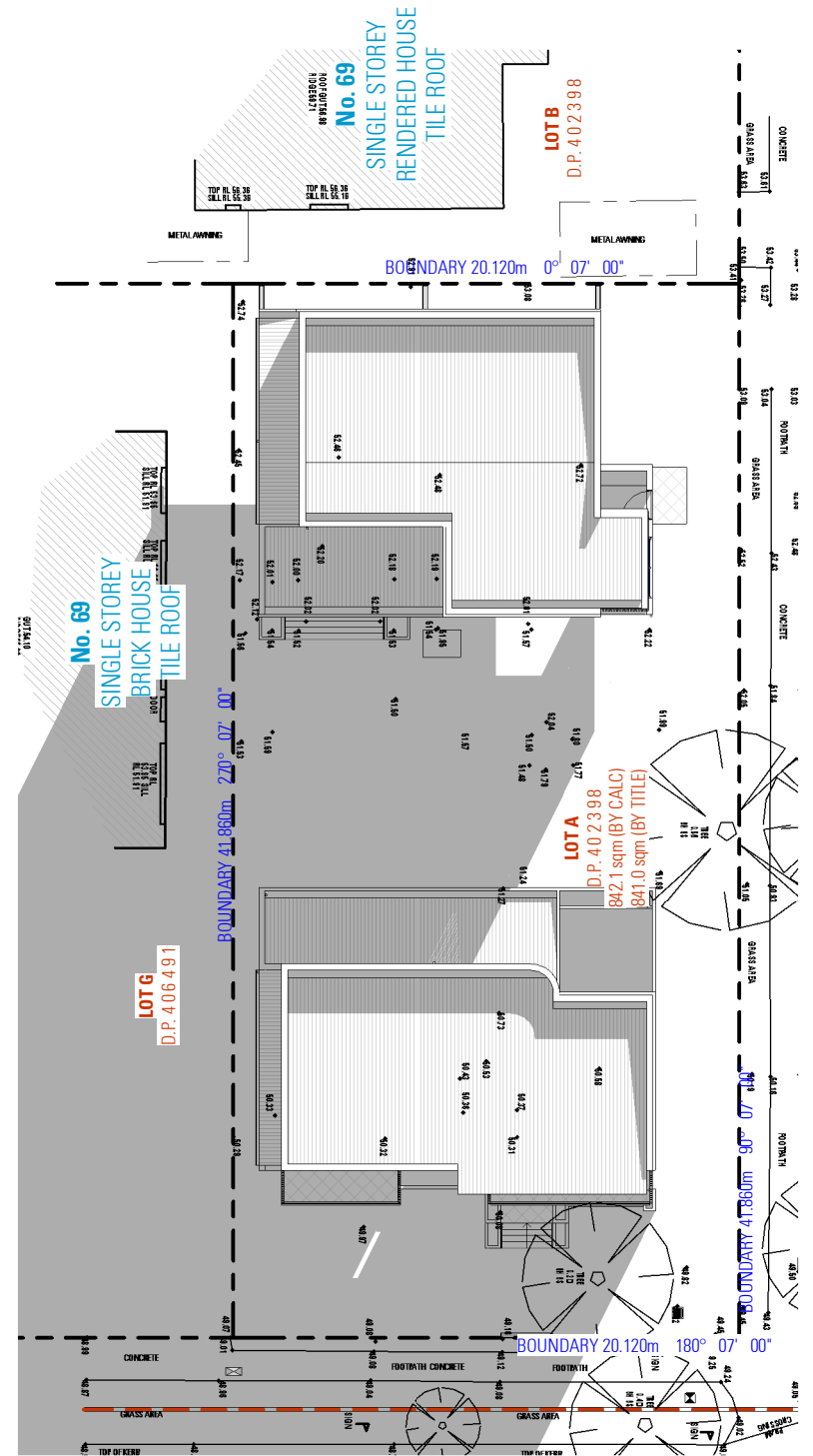
DUTTON STREET

## SHADOW DIAGRAM 2PM



DUTTON STREET

## SHADOW DIAGRAM 3PM



DUTTON STREET

## SHADOW DIAGRAM 4PM

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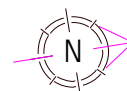
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JOE SLEIMAN

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3D VIEWS

**SCALE** / A3  
**ISSUE** A

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